



ADDENDUM NO. 002

TO: All Plan Holders

RE: Bristol Community Health Center, Phase I Renovations
For Southwest Virginia Community Health Systems
T&L Project No. 16493

DATE: April 4, 2023

BIDS RECEIVED DATE: April 11, 2023

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated March 10, 2023, as noted below. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject Bidder to disqualification.

This Addendum consists of 2 pages.

CLARIFICATIONS AND ANSWERS TO PRE-BID QUESTIONS:

1. The elevator shaft foundation may be reduced to the out-to-out dimension in the plan east-west direction. Keep the foundation extension in the plan north-south direction. Refer to revised Structural drawings.
2. Refer to Sketches ASK-07 thru ASK-09 for details associated with Aluminum Storefront Elevation (SF-4) located in existing exterior wall. Coordinate these sketches with revisions noted below and on enclosed Structural drawing S001.

CHANGES TO THE SPECIFICATIONS:

1. Refer to Specification Section 14 2600 – Limited-Use/Limited Application Elevators. Referencing Par 2.1.A., add Garaventa Lift as an approved manufacturer.

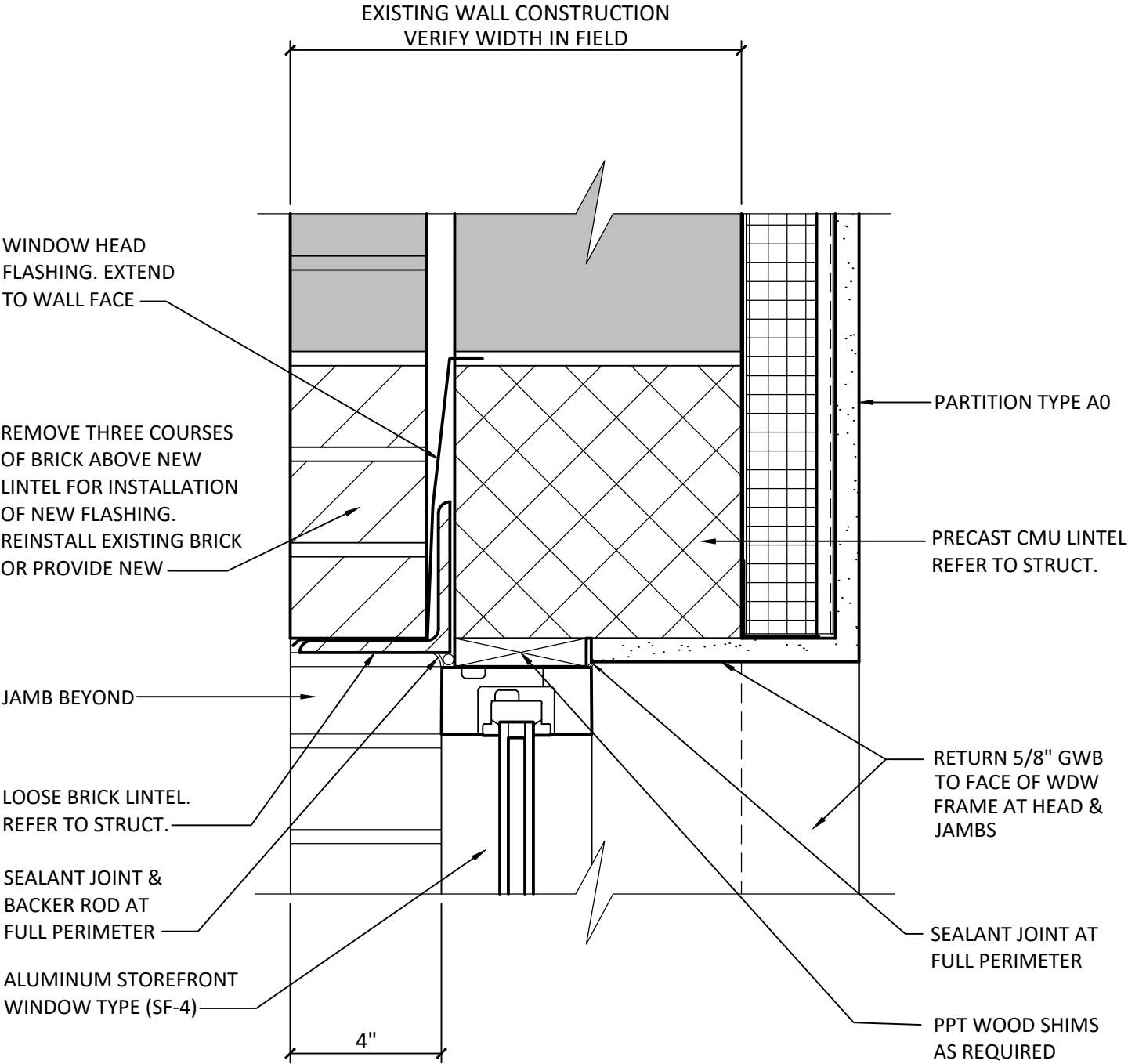
CHANGES TO THE DRAWINGS:

1. Refer to Drawing AD101 for clarification of selective demolition extent at elevator location.
2. Refer to Drawing A101 for revised number and spacing of Aluminum Storefront Elevation (SF-4), and relocation of elevator machine room
3. Refer to Drawing A102 for clarification of existing versus new work at new elevator location.



4. Refer to Drawing A103 for revisions to reflected ceiling at relocated elevator Machine Room 161 and Vestibule 162.
5. Refer to Drawing A601 for revisions and clarifications at elevator and machine room.
6. Refer to Drawing A201 for revised number and spacing of Aluminum Storefront Elevation (SF-4) and locations of wall cap WC-1, and louvers L-1 & L-2.
7. Refer to Drawing A701. Add new note no. 9 to General Partition Notes that reads, "Provide new 2-1/2" metal Z-furring at Partition Type A0.
8. Refer to Drawing A713 for revised Aluminum Storefront Elevation (SF-4).
9. Refer to Drawing S001 for "Typical Detail – Slab Replacement @ Utility Trench" and "Typical Detail – New Window Opening Existing Exterior Wall".
10. Refer to Drawing S100 for revised elevator shaft plan revisions.

Enclosures: Sketches ASK-07thru ASK-09 and Drawings AD101, A101, A102, A103, A201, A601, A713, S001 & S100.



WDW TYPE (SF-4) - HEAD CONDITION

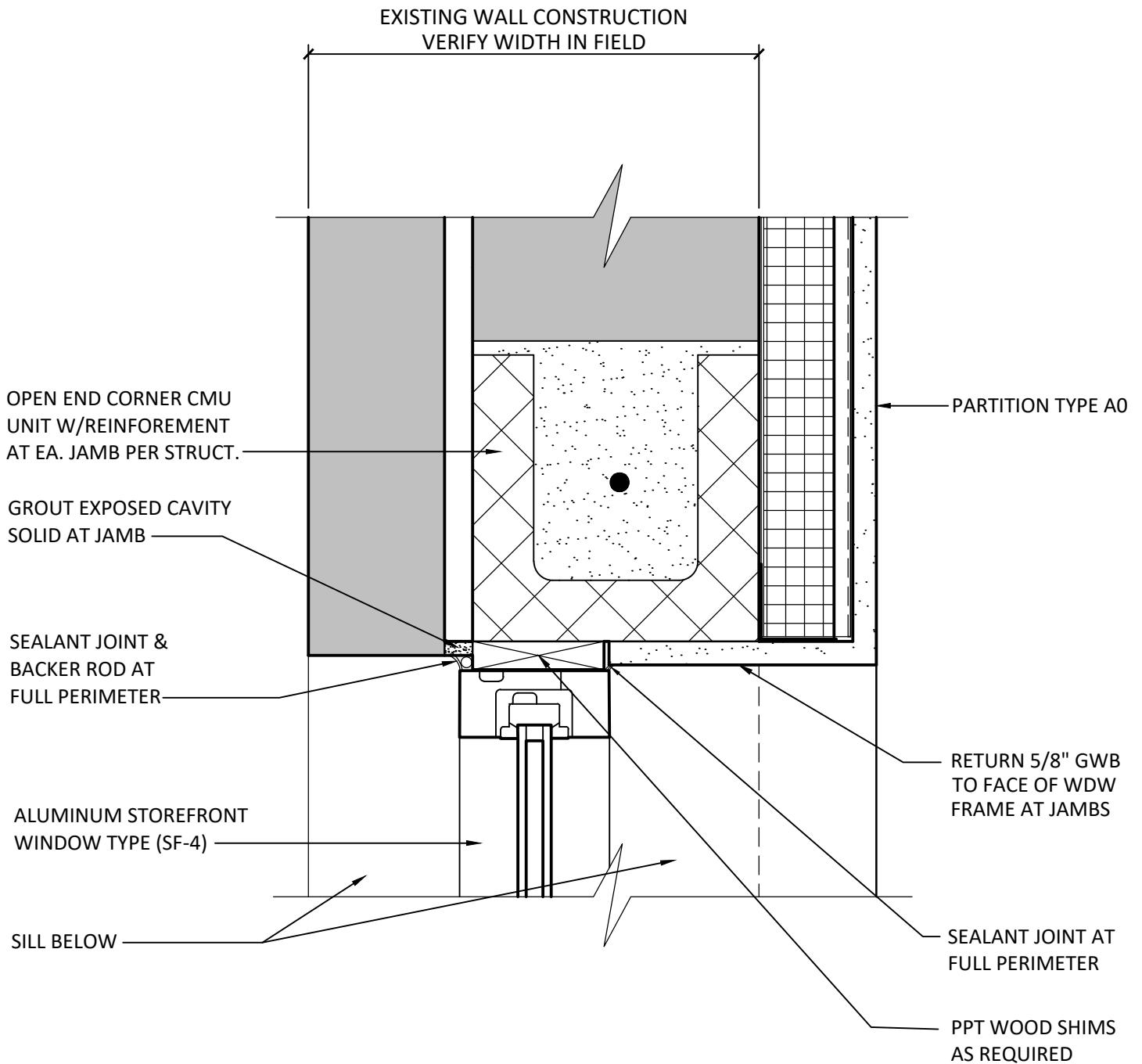
PROJECT NO. 16493	DATE 04-04-2023
FILE NAME ADD #2 ASK	

BRISTOL COMMUNITY HEALTH CENTER - PH 1
FIRST FLOOR PLAN REVISION - (STOREFRONT WINDOWS SF-4)



SKETCH ASK-07

SCALE: 3" = 1'-0"



WDW TYPE (SF-4) - JAMB CONDITION

PROJECT NO.

16493

DATE

04-04-2023

FILE NAME
ADD #2 ASK

BRISTOL COMMUNITY HEALTH CENTER - PH 1

FIRST FLOOR PLAN REVISION - (STOREFRONT WINDOWS SF-4)



THOMPSON
& LITTON

SKETCH
ASK-08

SCALE: 3" = 1'-0"

ALUMINUM STOREFRONT
WINDOW TYPE (SF-4)

JAMB BEYOND

SEALANT JOINT

SHEET METAL SILL
W/UPTURNED LEG
AND HEMMED EDGE

2 5/8"

PPT WOOD SHIMS
AS REQUIRED

SEALANT JOINT AT
FULL PERIMETER

SOLID SURFACE
WDW STOOL

PARTITION TYPE A0

EXISTING WALL CONSTRUCTION
VERIFY WIDTH IN FIELD

WDW TYPE (SF-4) - SILL CONDITION

PROJECT NO.

16493

DATE

04-04-2023

FILE NAME

ADD #2 ASK

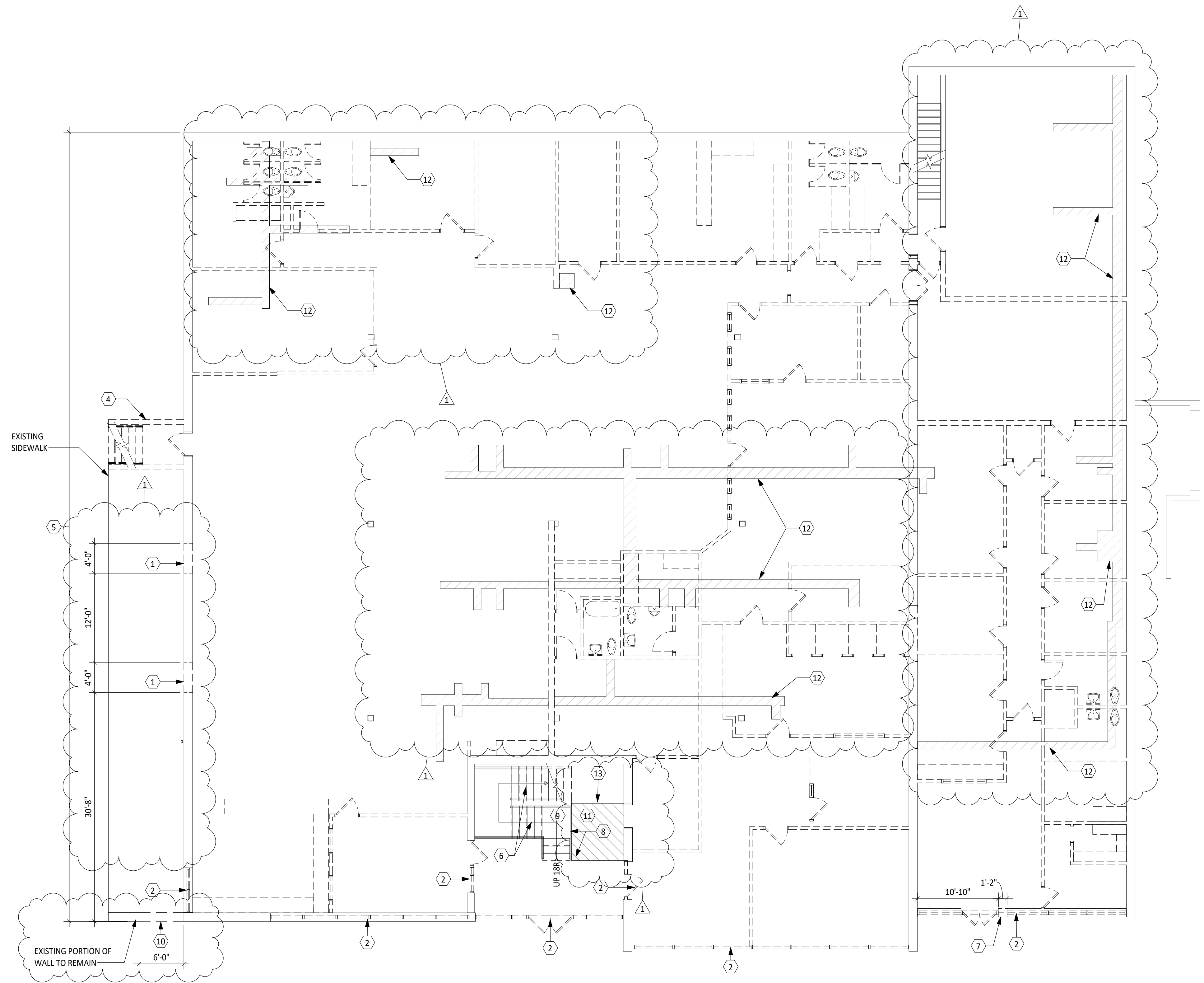
BRISTOL COMMUNITY HEALTH CENTER - PH 1

FIRST FLOOR PLAN REVISION - (STOREFRONT WINDOWS SF-4)



SKETCH
ASK-09

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FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"
PLAN NORTH

GENERAL DEMOLITION NOTES:

1. ANY DISCREPANCIES BETWEEN ITEMS NOTED FOR DEMOLITION AND ACTUAL FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF DEMOLITION.
2. DO NOT REMOVE OR DEMOLISH ANY LOAD-BEARING BUILDING ELEMENTS WITHOUT FIRST CONTACTING THE ARCHITECT/STRUCTURAL ENGINEER.
3. REMOVE AND/OR CAP OFF ANY MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS CONTAINED WITHIN CONSTRUCTION SCHEDULED TO BE REMOVED. CAP OFF BEHIND FACE OF EXISTING WALLS INDICATED TO REMAIN OR BELOW THE FLOOR SLAB. COORDINATE THESE REQUIREMENTS WITH MECHANICAL, PLUMBING, AND ELECTRICAL REQUIREMENTS. REFER ALSO TO CUT AND PATCH REQUIREMENTS IN THE PROJECT MANUAL.
4. LEGALLY DISPOSE OF ALL MATERIALS ASSOCIATED WITH SELECTIVE DEMOLITION WORK UNLESS OTHERWISE NOTED TO BE PROVIDED TO OWNER OR SALVAGED FOR REUSE.
5. COORDINATE REQUIRED TEMPORARY UTILITY OR SERVICE SHUT-OFF WITH OWNER AND OTHER REQUIREMENTS FOUND IN THE CONTRACT DOCUMENTS.
6. COORDINATE ALL REQUIRED SELECTIVE DEMOLITION WITH THE ASBESTOS INVESTIGATION AND EXHIBITS LOCATED IN THE APPENDICES OF THE PROJECT MANUAL.
7. NOTE CENTERED WITH A GIVEN SPACE: THIS IMPLIES THAT THE NOTED CONSTRUCTION IS TO BE REMOVED FROM FLOOR TO CEILING ON ALL WALLS TO REMAIN IN THE ORIGINAL SPACE.
8. NOTE WITH LEADER: THIS IMPLIES THAT A PATCH/PORION OF THE NOTED CONSTRUCTION IS TO BE REMOVED FROM FLOOR TO CEILING ON ALL WALLS TO REMAIN IN THE ORIGINAL SPACE.
9. NOTE WITH DIMENSION STRING: THIS IMPLIES THAT THE NOTED CONSTRUCTION IS TO BE REMOVED FROM FLOOR TO CEILING FOR THE INDICATED PORTION OF WALL.
10. REFER TO DRAWING A201 FOR ITEMS REQUIRING SELECTIVE DEMOLITION ON THE BUILDING'S EXTERIOR.
11. REFER TO DRAWING A105 FOR ITEMS REQUIRING SELECTIVE DEMOLITION ON THE BUILDING'S ROOF.
12. SELECTIVELY DEMOLISH ALL EXISTING INTERIOR WALL PARTITIONS, WALL & COLUMN FURRING, DOORS & FRAMES, FINISHED CEILINGS, FINISHED FLOORING, CASEWORK, AND TOILET PARTITIONS UNLESS OTHERWISE INDICATED TO REMAIN.
13. SELECTIVELY DEMOLISH ALL EXISTING MECHANICAL (HVAC & PLUMBING) AND ELECTRICAL SYSTEMS COMPLETE, UNLESS OTHERWISE INDICATED TO REMAIN. COORDINATE WITH ADDITIONAL MEP REQUIREMENTS CONTAINED WITHIN THE CONTRACT DOCUMENTS.
14. REMOVE ALL EXISTING FURNISHINGS AND EQUIPMENT COMPLETE FROM WITHIN THE WORK AREA.
15. REMOVE ALL EXISTING INTERIOR WALL FURRING WHERE LOCATED OVER EXISTING MASONRY WALL CONSTRUCTION. REFER TO PARTITION TYPES ON DRAWING A701 FOR REQUIREMENTS OF NEW WALL FURRING AT SAME LOCATIONS.
16. REMOVE, SALVAGE, AND REINSTALL EXISTING SUSPENDED ACT CEILING SYSTEM ON THE SECOND FLOOR TO FACILITATE THE INSTALLATION OF NEW FIRE SPRINKLER AND FIRE ALARM SYSTEMS.
17. REMOVE EXISTING VINYL FLOORING AND WALL BASE AT SECOND FLOOR CORRIDORS AND UPPER LOBBY STAIR SCHEDULED TO RECEIVE NEW FLOORING AND WALL BASE.

DEMOLITION NOTES:

OCCURS WHERE (?) ARE INDICATED ON DRAWINGS.

- ① REMOVE A 6'-0"W BY 4'-8"H AREA OF EXISTING EXTERIOR WALL CONSTRUCTION TO ACCOMMODATE NEW STOREFRONT WINDOWS.
- ② REMOVE EXISTING ALUMINUM STOREFRONT AND/OR ALUMINUM CURTAINWALL SYSTEM COMPLETE AS SHOWN ON THIS DRAWING AND ON DRAWING A102. MAKE OPENING READY FOR NEW ALUMINUM FRAMING SYSTEM AS SHOWN ON DRAWINGS A712 AND A713.
- ③ REMOVE EXISTING MANUFACTURED STONE VENEER AT LOCATION OF NEW ELEVATOR SHAFT. REFER TO A102 AND A601 FOR LOCATION.
- ④ DEMOLISH EXISTING SIDE ENTRANCE COMPLETE.
- ⑤ REMOVE EXISTING LANDSCAPING ALONG ENTIRE LENGTH OF WEST SIDE OF BUILDING.
- ⑥ REMOVE EXISTING STAIR TREADS AND VINYL TILE AT LANDING.
- ⑦ REMOVE PORTION OF EXTERIOR WALL CONSTRUCTION BELOW EXISTING STOREFRONT FRAMING, AND MAKE READY FOR NEW ALUMINUM STOREFRONT FRAMING SYSTEM AS SHOWN ON DRAWINGS A713.
- ⑧ REMOVE EXISTING GUARDRAIL AT PERIMETER OF UPPER LOBBY LANDING AT LOCATION OF NEW ELEVATOR SHAFT.
- ⑨ REMOVE EXISTING SUSPENDED ACT CEILING SYSTEM.
- ⑩ REMOVE SECTION OF EXISTING RETAINING WALL INDICATED.
- ⑪ REMOVE PORTION OF EXISTING SLAB-ON-GRADE AT LOCATION OF PLANNED ELEVATOR. SAWCUT SLAB AT PERIMETER.
- ⑫ REMOVE PORTION OF EXISTING SLAB-ON-GRADE ALONG ROUTING OF PLANNED SANITARY PLUMBING LINES BELOW SLAB. REFER TO STRUCTURAL DRAWINGS FOR TRENCH DETAIL.
- ⑬ REMOVE PORTION OF UPPER STAIR LANDING TO ACCOMMODATE THE CONSTRUCTION OF THE NEW ELEVATOR



SOUTHWEST VA COMMUNITY HEALTH SYSTEMS
BRISTOL COMMUNITY HEALTH CENTER
BRISTOL, VA
DEMOLITION FLOOR PLANS

No.	Date	Purpose of Document/Issue
1	04/04/2023	REVISED DRAWINGS - ADDENDUM NO. 2

Designed	MES
Drawn	BCB
Checked	MES
Date	JULY 15, 2022

Project No.
16493



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AD101

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SOUTHWEST VA COMMUNITY HEALTH SYSTEMS
BRISTOL COMMUNITY HEALTH CENTER
BRISTOL, VA
FIRST FLOOR PLAN

No.	Date	Purpose of Document/Issue
1	04/04/2023	REVISED DRAWINGS - ADDENDUM NO. 2

Designed	MES
Drawn	TWM/BCB
Checked	MES
Date	JULY 15, 2022

Project No.
16493



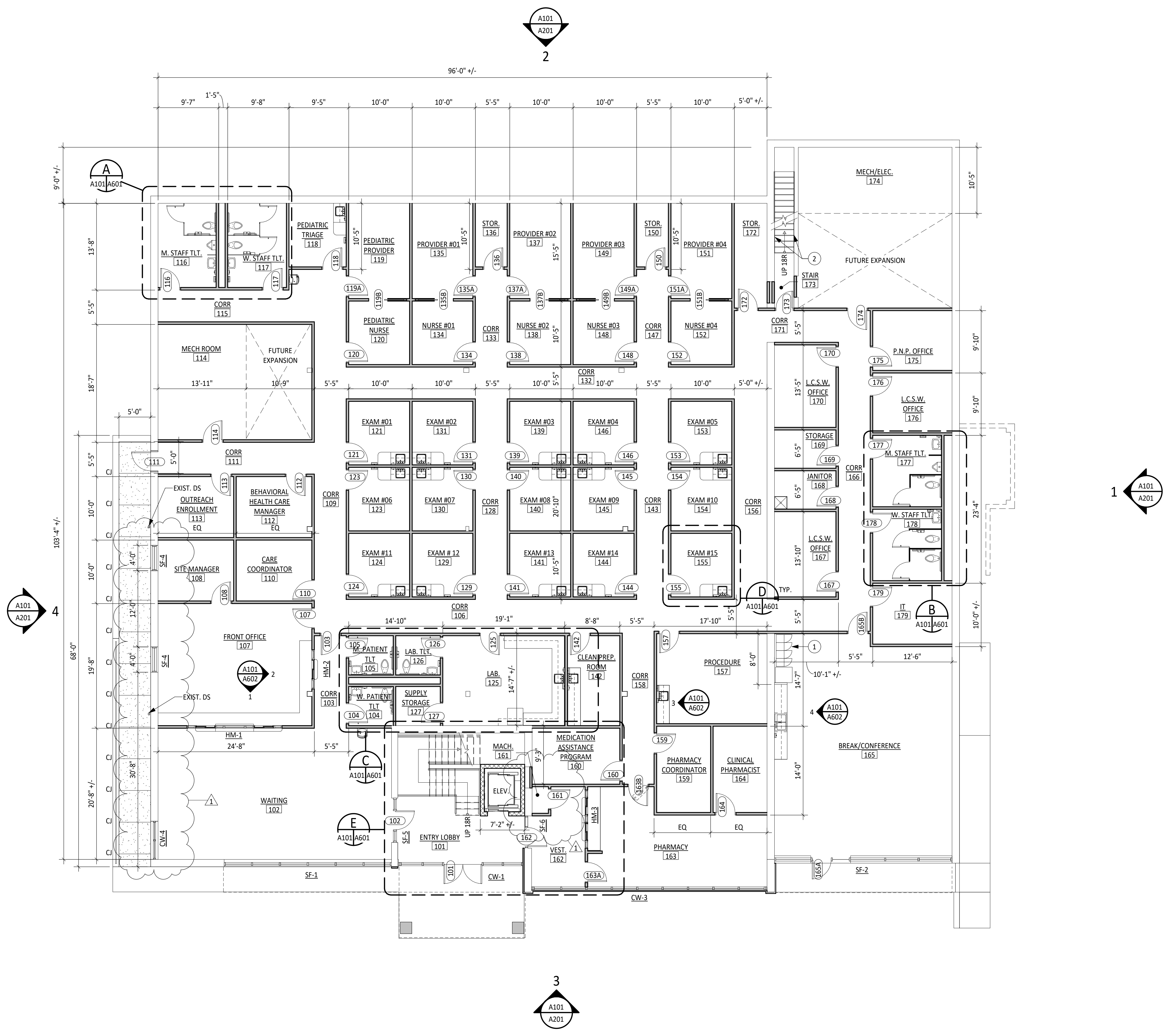
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A101

GENERAL CONSTRUCTION NOTES:

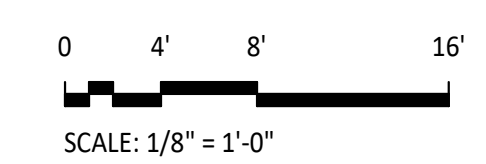
- ALL WORK SHALL BE PERFORMED IN OBSERVANCE OF LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS.
- LOOSE FURNISHINGS, APPLIANCES, AND EQUIPMENT ARE NOT INCLUDED WITHIN THIS PROJECT'S SCOPE (NIC), UNLESS OTHERWISE NOTED.
- DO NOT "SCALE" DRAWINGS. USE DIMENSIONAL INFORMATION PROVIDED ONLY. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, CONTRACTOR SHALL REQUEST CLARIFICATION FROM ARCHITECT PRIOR TO PROCEEDING.
- ALL DIMENSIONS ARE MEASURED TO FACE OF METAL AND/OR WOOD STUDS OR MASONRY CONSTRUCTION UNLESS OTHERWISE NOTED.
- ALL INTERIOR PARTITIONS ARE PARTITION TYPE 'A1' (UON).
- ALL DIMENSIONS NOTED AS "CLEAR," ARE FROM FACE OF FINISH TO FACE OF FINISH.
- PROVIDE CONCEALED WOOD BLOCKING AT LOCATIONS OF WALL-MOUNTED EQUIPMENT, CASEWORK, SHELVING, AND TOILET ACCESSORIES.
- ALL SIDEWALKS LOCATED ALONG ACCESSIBLE ROUTE SHALL HAVE A 5% MAXIMUM SLOPE UNLESS OTHERWISE INDICATED AS A RAMP.
- REFER TO ENLARGED FLOOR PLANS FOR PARTITION TYPES, DIMENSIONS, AND RELEVANT CONSTRUCTION RELATED FEATURES AND EQUIPMENT IN THOSE AREAS.
- REFER TO LIFE SAFETY DRAWINGS FOR LOCATIONS OF FIRE EXTINGUISHERS.
- ALL DOORS LOCATED IN STUD PARTITIONS ARE TO BE LOCATED 4" FROM AN ADJACENT WALL TO THE BACK OF THE FRAME OR CENTERED BETWEEN 2 ADJACENT WALLS UNLESS OTHERWISE NOTED.
- ALL DOORS LOCATED IN MASONRY CONSTRUCTION ARE TO BE LOCATED 8" FROM AN ADJACENT WALL OR CENTERED BETWEEN 2 ADJACENT WALLS UNLESS OTHERWISE NOTED.
- PROVIDE MINIMUM 1'-6" CLEAR ON PULL SIDE OF DOORS BETWEEN JAMB AND INTERSECTING WALL ON LATCH SIDE OF DOOR. PROVIDE 1'-0" CLEAR ON PUSH SIDE OF DOOR BETWEEN JAMB AND INTERSECTING WALL ON LATCH SIDE OF DOOR FOR ALL DOORS WITH BOTH A LATCH AND A CLOSER.

SPECIFIC CONSTRUCTION NOTES:

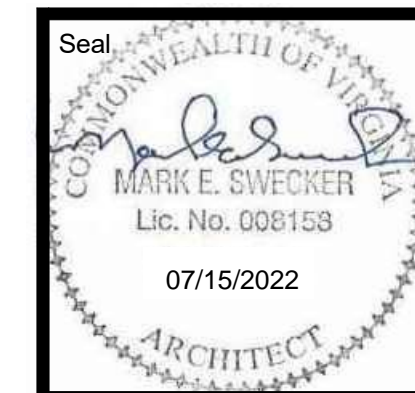
- OCUR WHERE (#) ARE INDICATED ON FLOOR PLAN
- PROVIDE (4) 5-TIER METAL LOCKERS (20 TOTAL). REFER TO SPECIFICATION SECTION 10 5100
 - PROVIDE 1-1/2" OD NOM WALL MOUNTED STEEL PIPE HANDRAIL AT EACH SIDE OF STAIRWAY. RETURN HANDRAIL TO WALL, AND EXTEND 12" BEYOND BOTTOM RISER AND 12" HORIZONTAL ABOVE TOP LANDING.



FIRST FLOOR PLAN
1/8" = 1'-0"
PLAN NORTH



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SOUTHWEST VA COMMUNITY HEALTH SYSTEMS
BRISTOL COMMUNITY HEALTH CENTER
 BRISTOL, VA
SECOND FLOOR PLAN

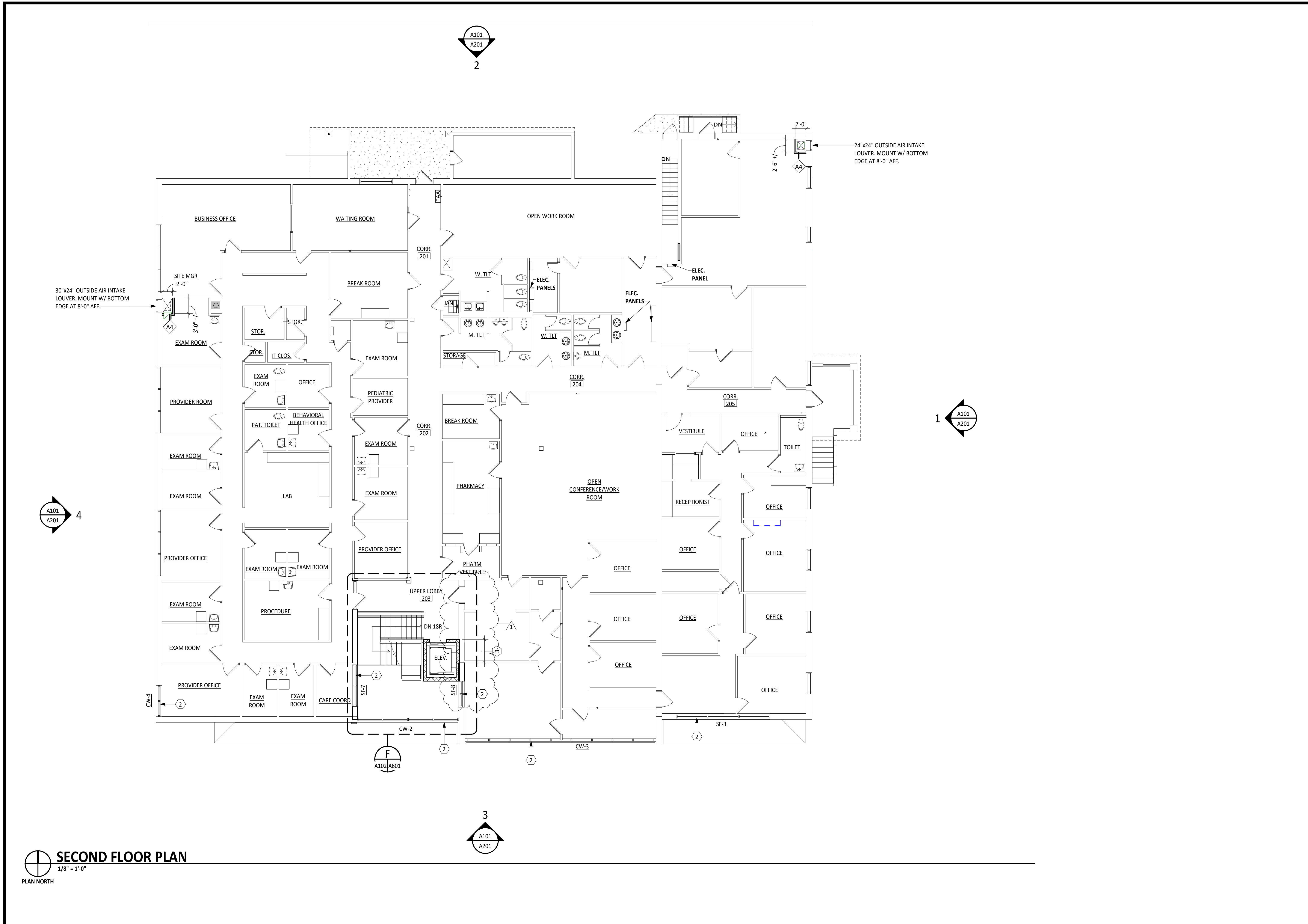
No.	Date	Purpose of Document/Issue
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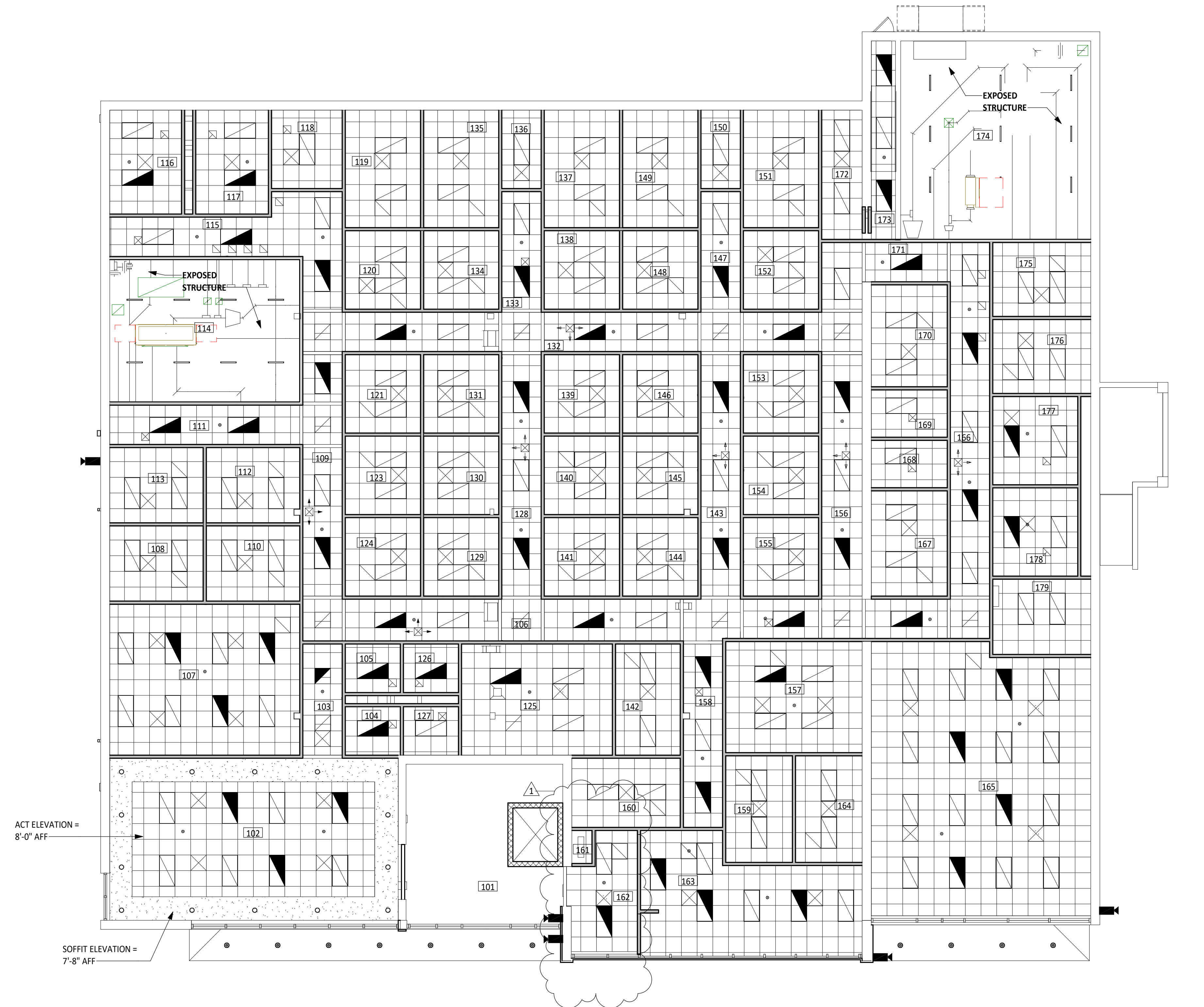


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A102



SECOND FLOOR PLAN
 1/8" = 1'-0"
 PLAN NORTH

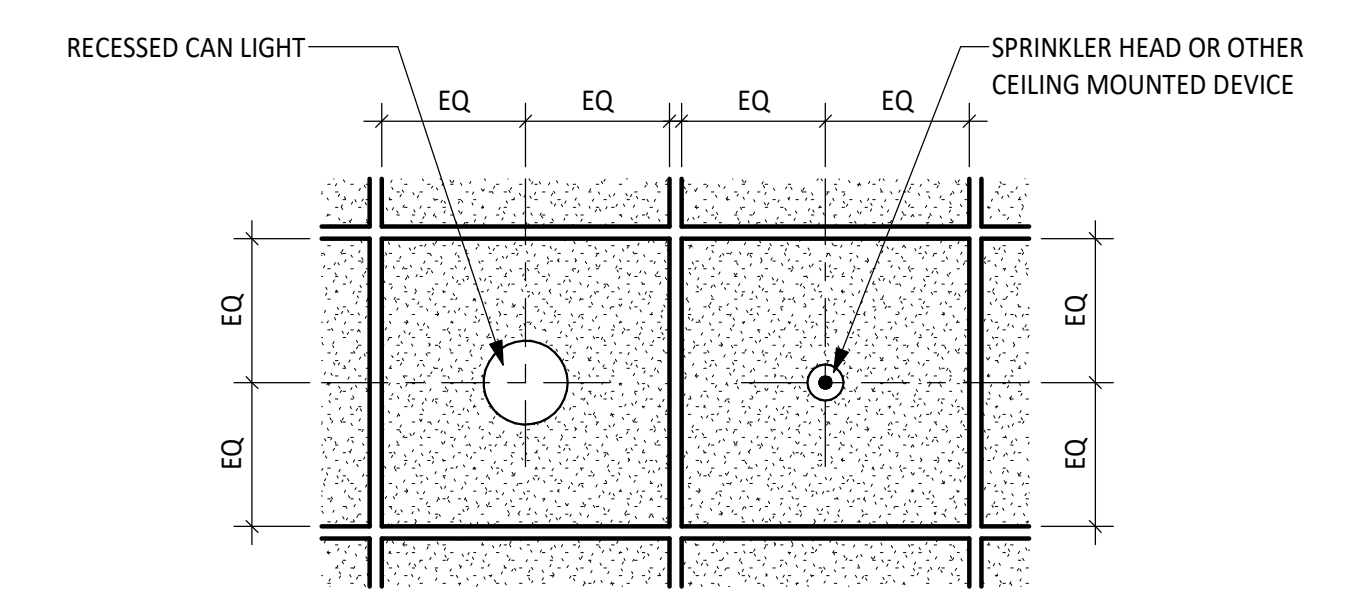
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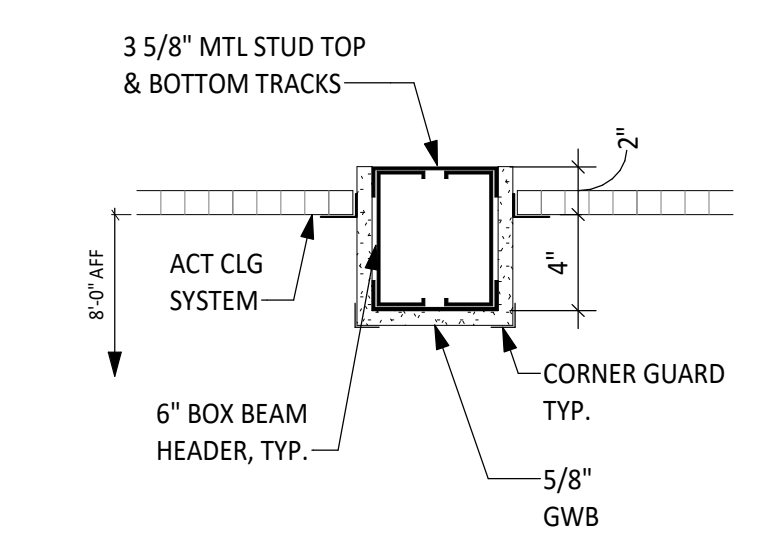
FIRST FLOOR REFLECTED CEILING PLAN
 1/8" = 1'-0"
 PLAN NORTH

REFLECTED CEILING LEGEND:

- 24"x24" SUSPENDED ACOUSTICAL PANEL CEILING
- GYPSUM CEILING
- LAY-IN LIGHT
- SURFACED MOUNTED LIGHT
- PENDANT LIGHT (UON)
- PENDANT LIGHT (UON)
- CAN LIGHT
- AIR DEVICES-SUPPLY
- AIR DEVICES-RETURN
- AIR DEVICES-EXHAUST
- SPRINKLER HEAD
- EXIT SIGN



TYP CEILING MOUNTED FIXTURE LOCATION
 3/4" = 1'-0"



DETAIL - TYPICAL BULKHEAD
 SCALE: 1 1/2" = 1'-0"



SOUTH WEST VA COMMUNITY HEALTH SYSTEMS
BRISTOL COMMUNITY HEALTH CENTER
 BRISTOL, VA
FIRST FLOOR REFLECTED CEILING PLAN

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1	04/04/2023	REVISED DRAWINGS - ADDENDUM NO. 2

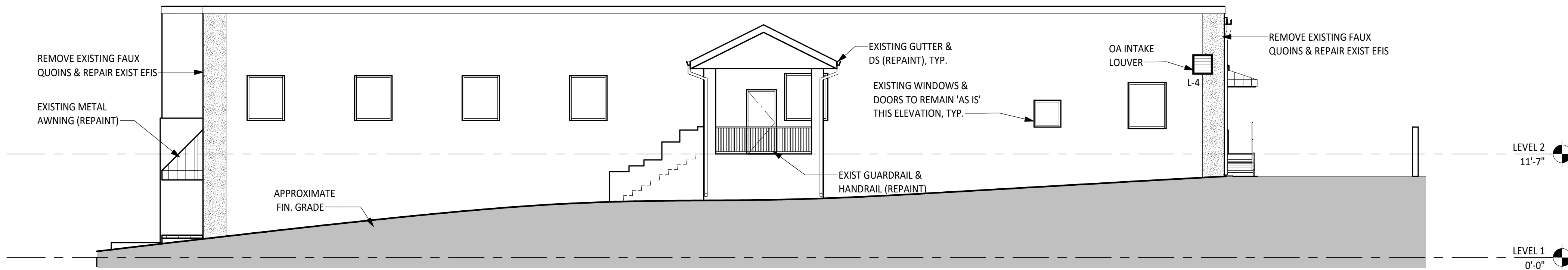
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Date	JULY 15, 2022

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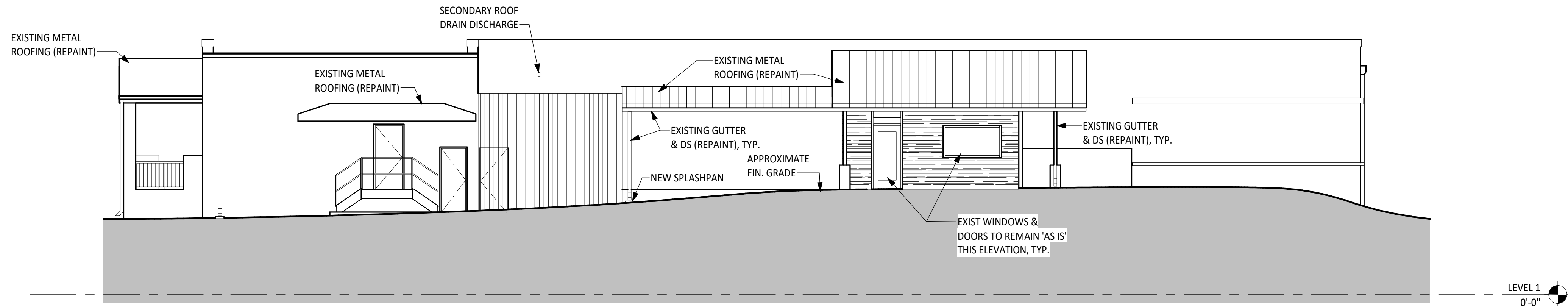


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A103

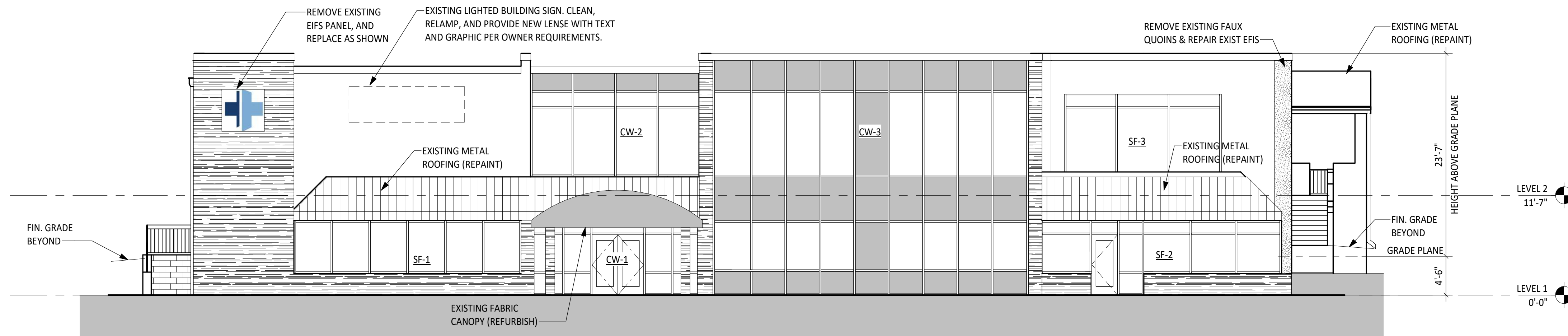
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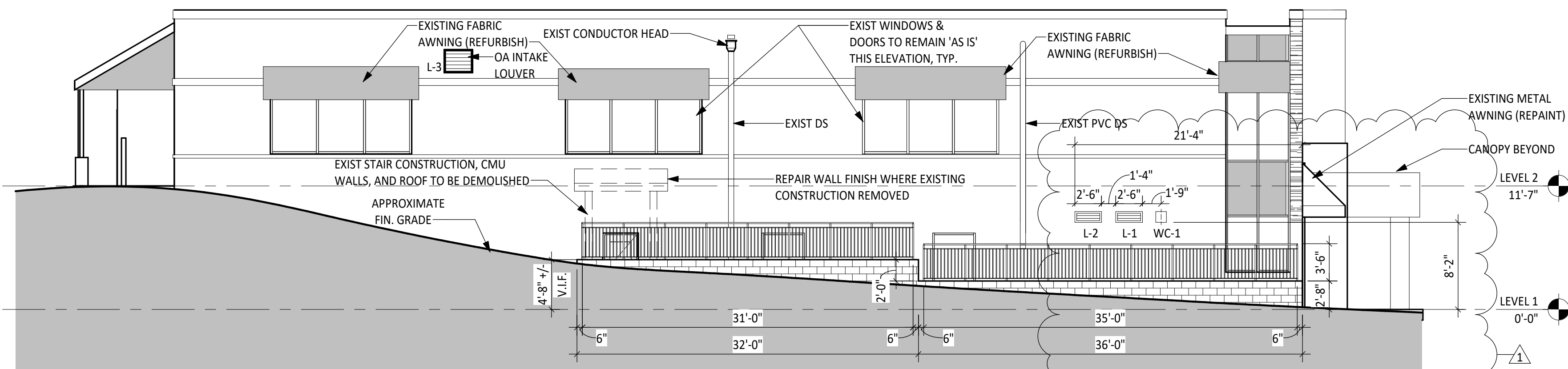
1 EAST ELEVATION
A101A201 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
A101A201 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
A101A201 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
A101A201 SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES:

1. PROVIDE A LOW-PRESSURE DETERGENT WASH TO THE ENTIRE BUILDING'S EXTERIOR ELEVATIONS. REPORT ANY ISSUES WITH WASH PROCESS IMMEDIATELY TO THE ARCHITECT.
2. REPAINT THE EXISTING PAINTED SURFACES OF THE ENTIRE BUILDING'S EXTERIOR ELEVATIONS. PROVIDE 2 TOP-COATS AND ALLOW FOR UP TO TWO COLORS SELECTIONS.
3. PROVIDE A NEW SEALANT AT PERIMETER OF ALL NEW AND EXISTING OPENING FRAMES, AND ALL EXISTING BUILDING AND FACADE JOINTS.



SOUTHWEST VA COMMUNITY HEALTH SYSTEMS
BRISTOL COMMUNITY HEALTH CENTER
BRISTOL, VA
BUILDING ELEVATIONS

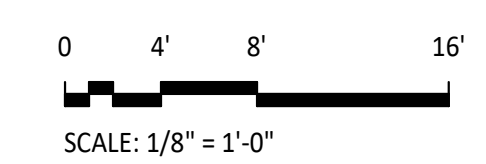
No.	1
Date	04/04/2023
Purpose of Document/Issue	REVISED DRAWINGS - ADDENDUM NO. 2

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Project No. **16493**

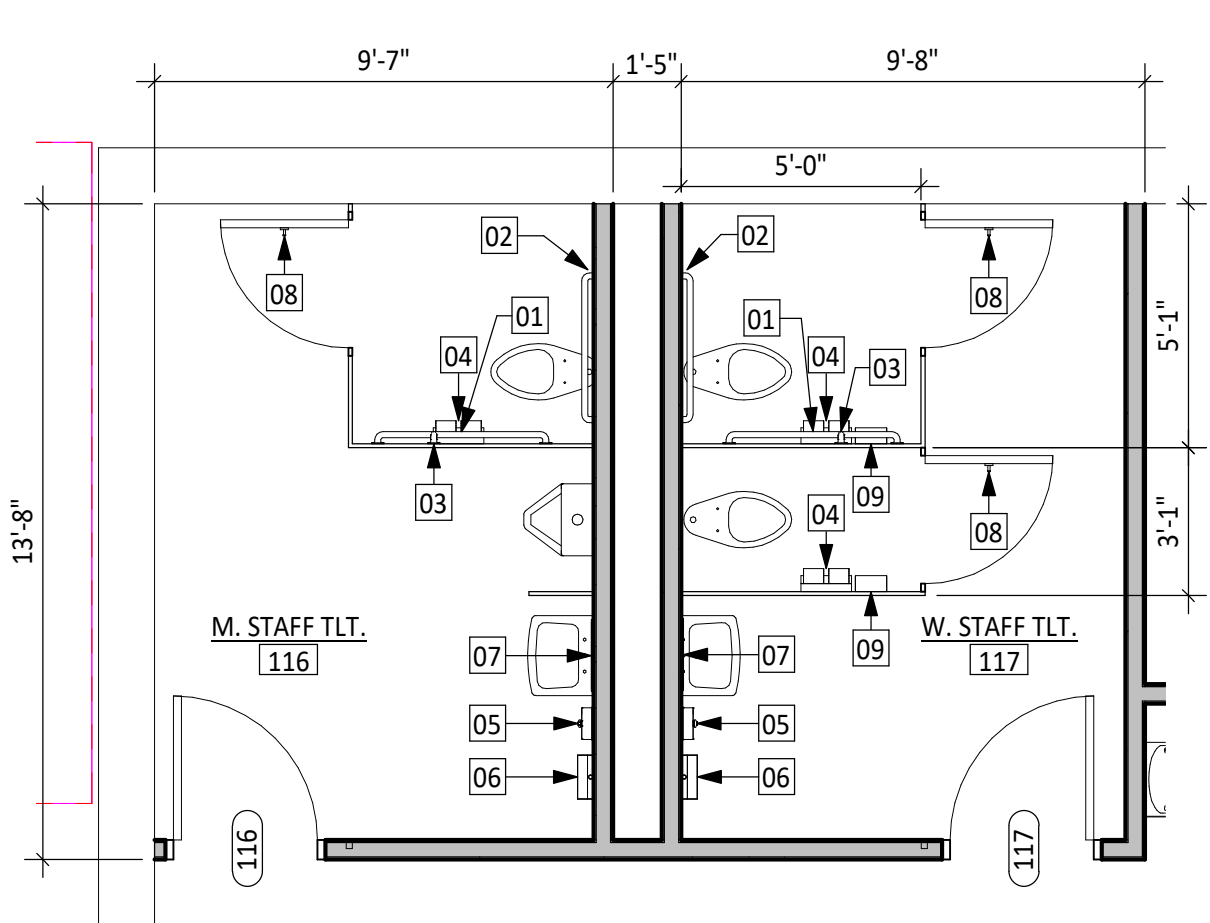


Sheet No. **A201**

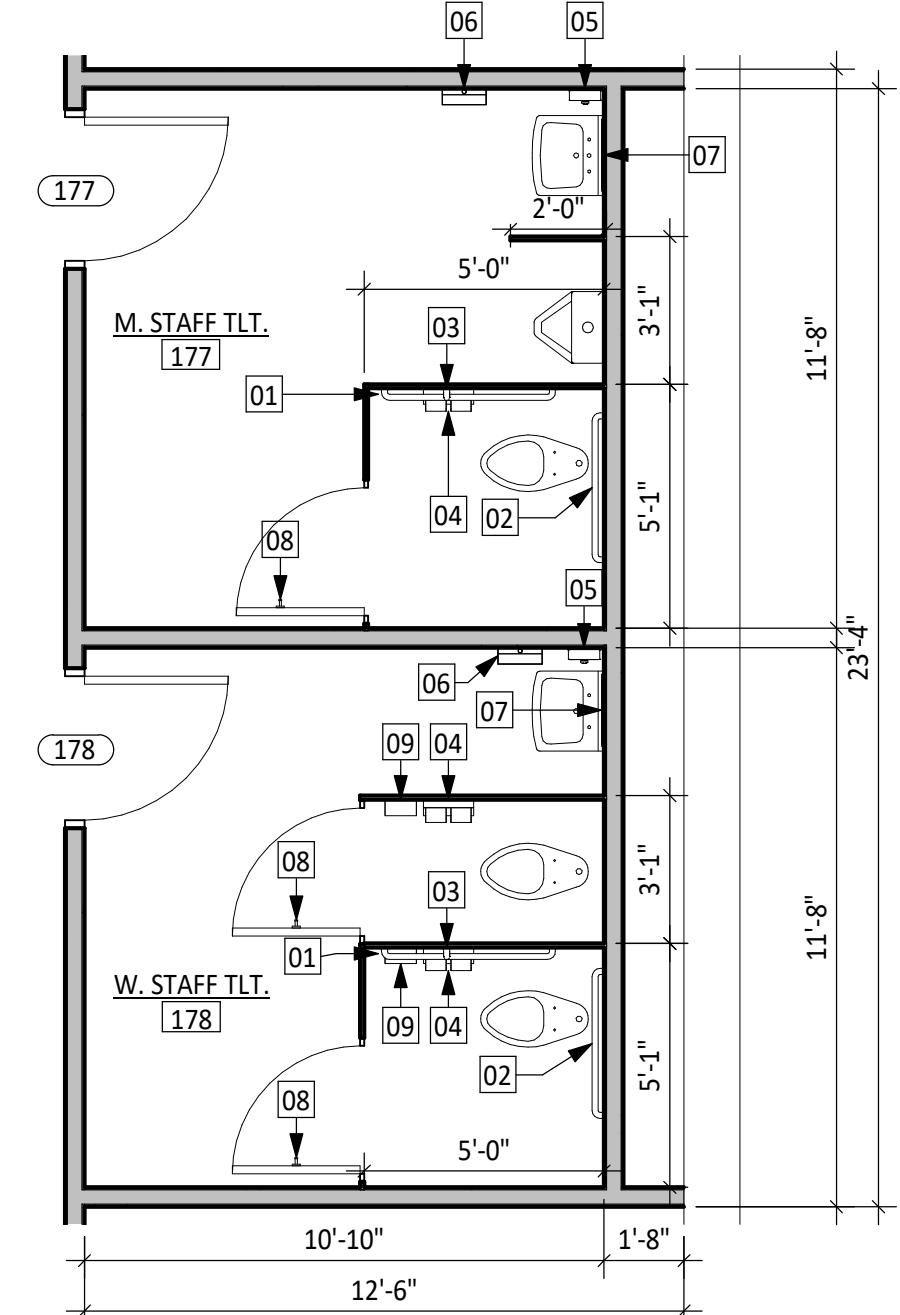




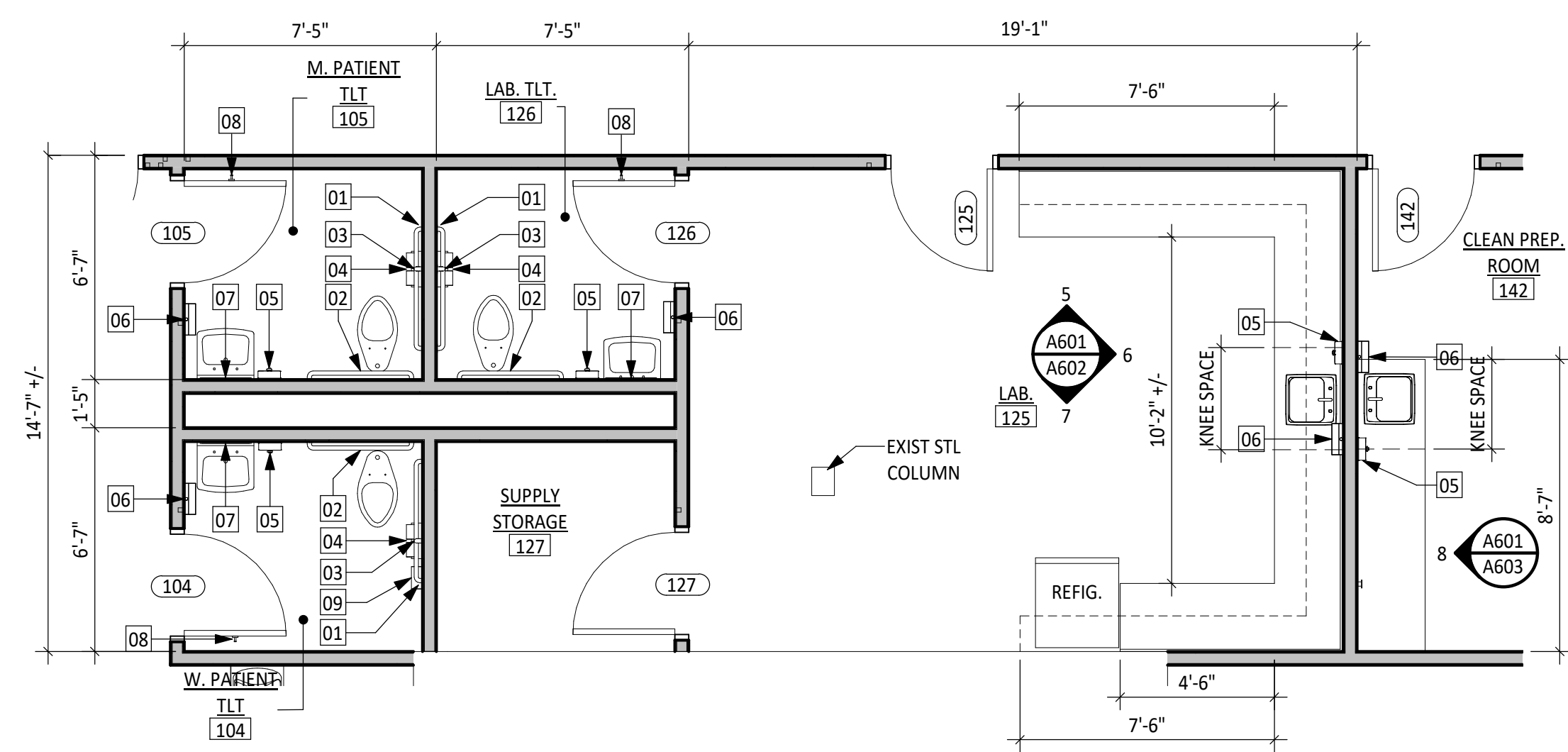
SOUTHWEST VA COMMUNITY HEALTH SYSTEMS
BRISTOL COMMUNITY HEALTH CENTER
 BRISTOL, VA
ENLARGED FLOOR PLANS



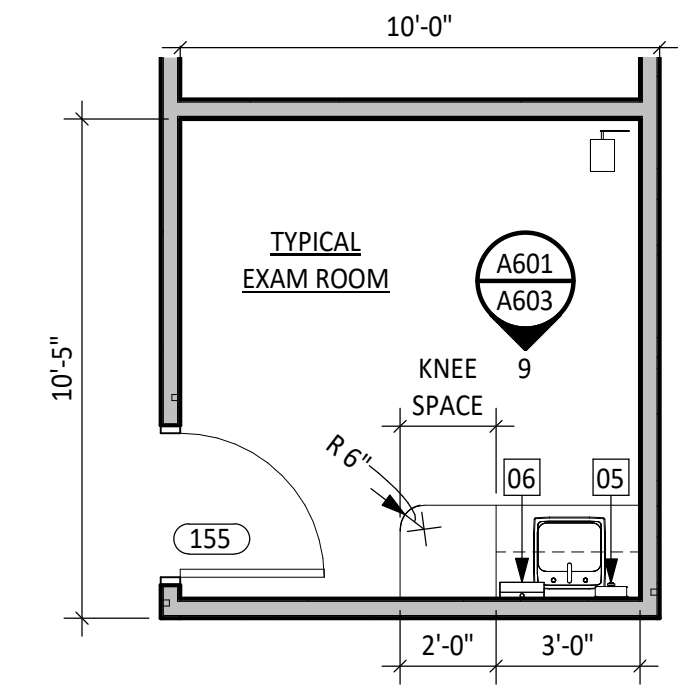
A STAFF TLT ENLARGED PLAN
 SCALE: 1/4" = 1'-0"



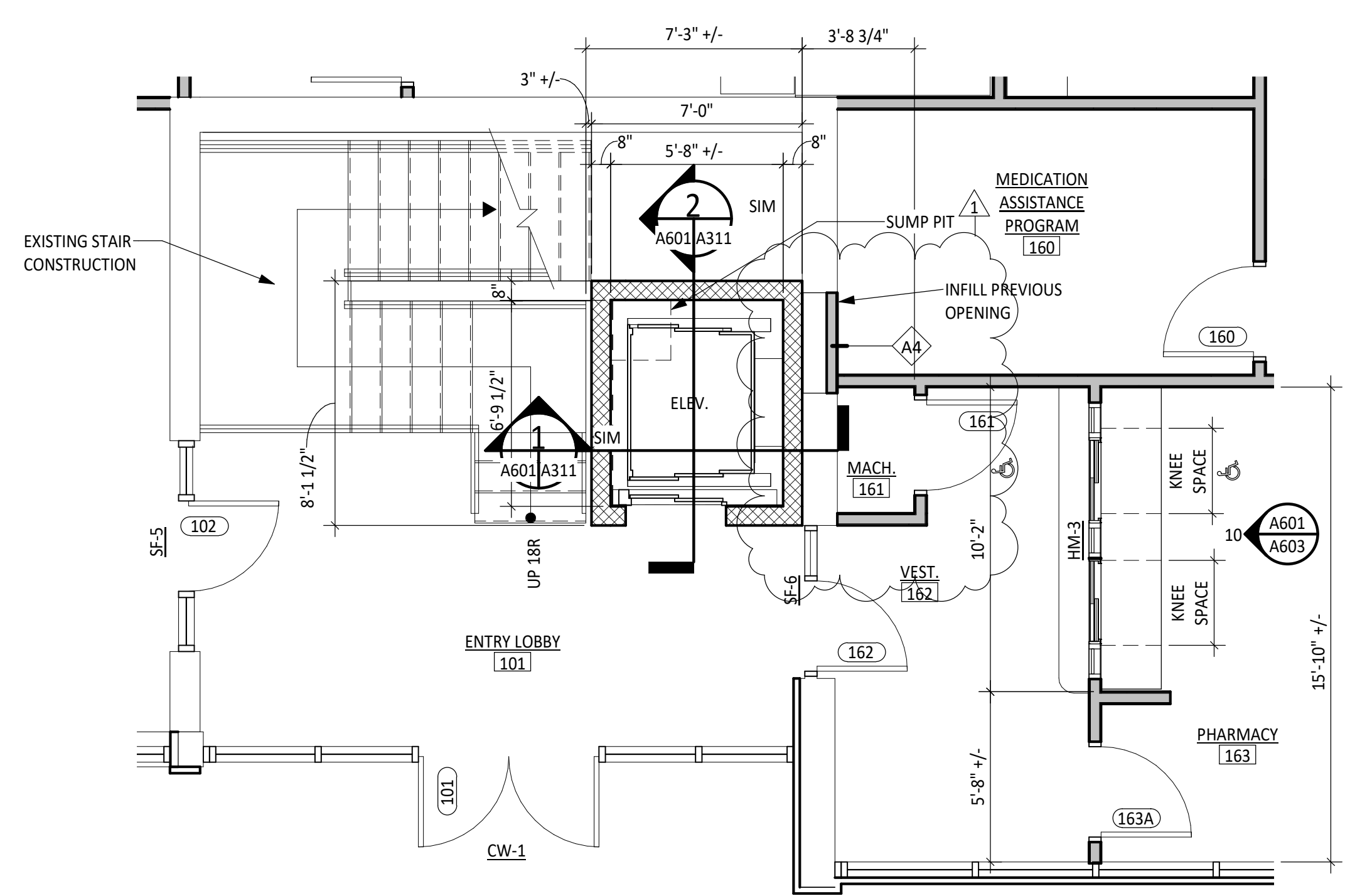
B STAFF TLT ENLARGED PLAN
 SCALE: 1/4" = 1'-0"



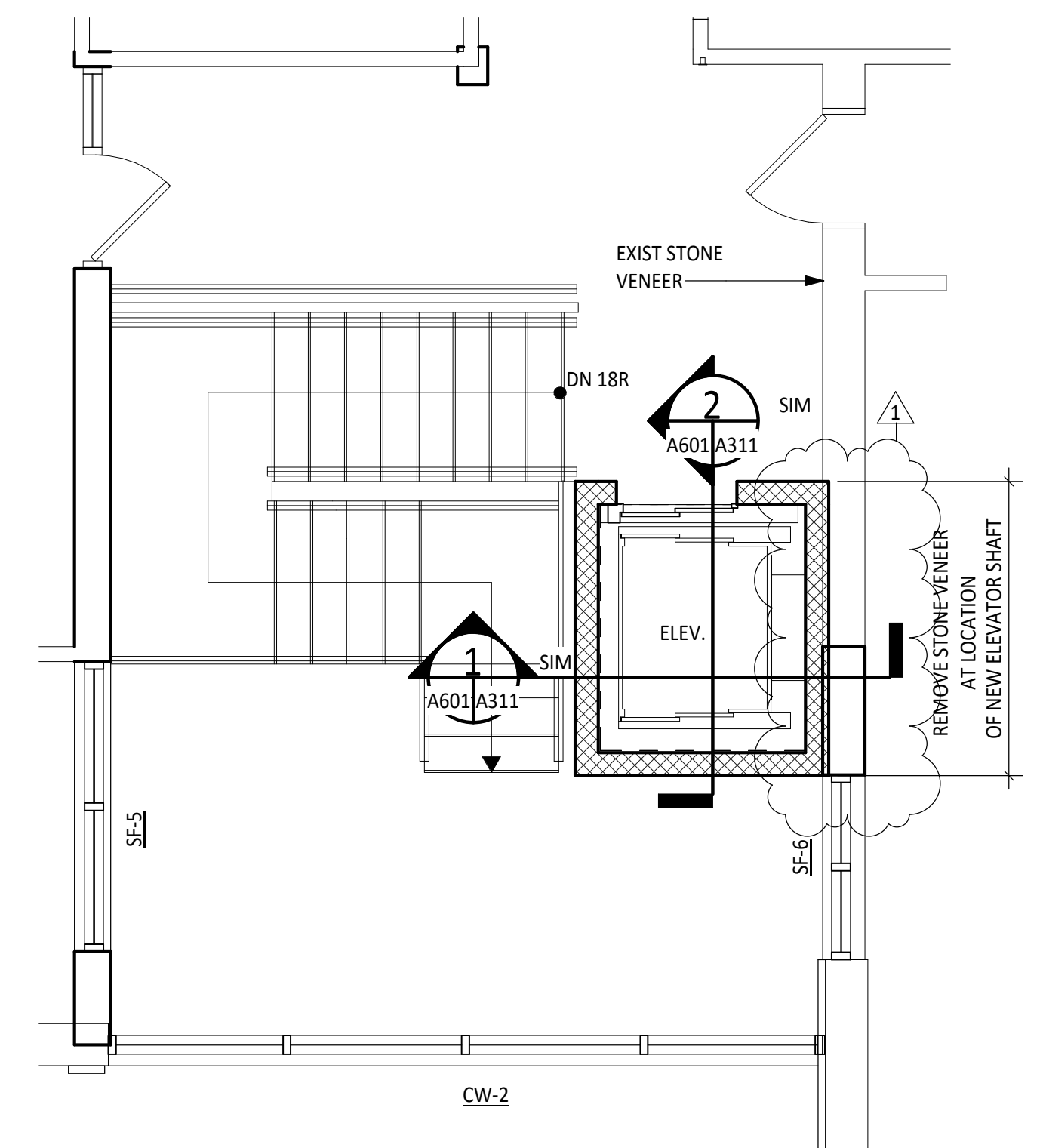
C PATIENT TOILET/LAB ENLARGED PLAN
 SCALE: 1/4" = 1'-0"



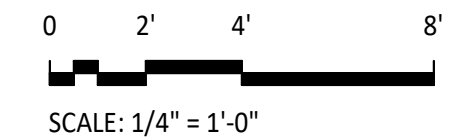
D ENLARGED EXAM ROOM - TYP
 SCALE: 1/4" = 1'-0"



E FIRST FLOOR LOBBY ENLARGED PLAN
 SCALE: 1/4" = 1'-0"



F SECOND FLOOR LOBBY ENLARGED PLAN
 SCALE: 1/4" = 1'-0"



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Project No.
16493



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SOUTHWEST VA COMMUNITY HEALTH SYSTEMS
BRISTOL COMMUNITY HEALTH CENTER
 BRISTOL, VA
INTERIOR & EXTERIOR STOREFRONT & CURTAINWALL TYPES

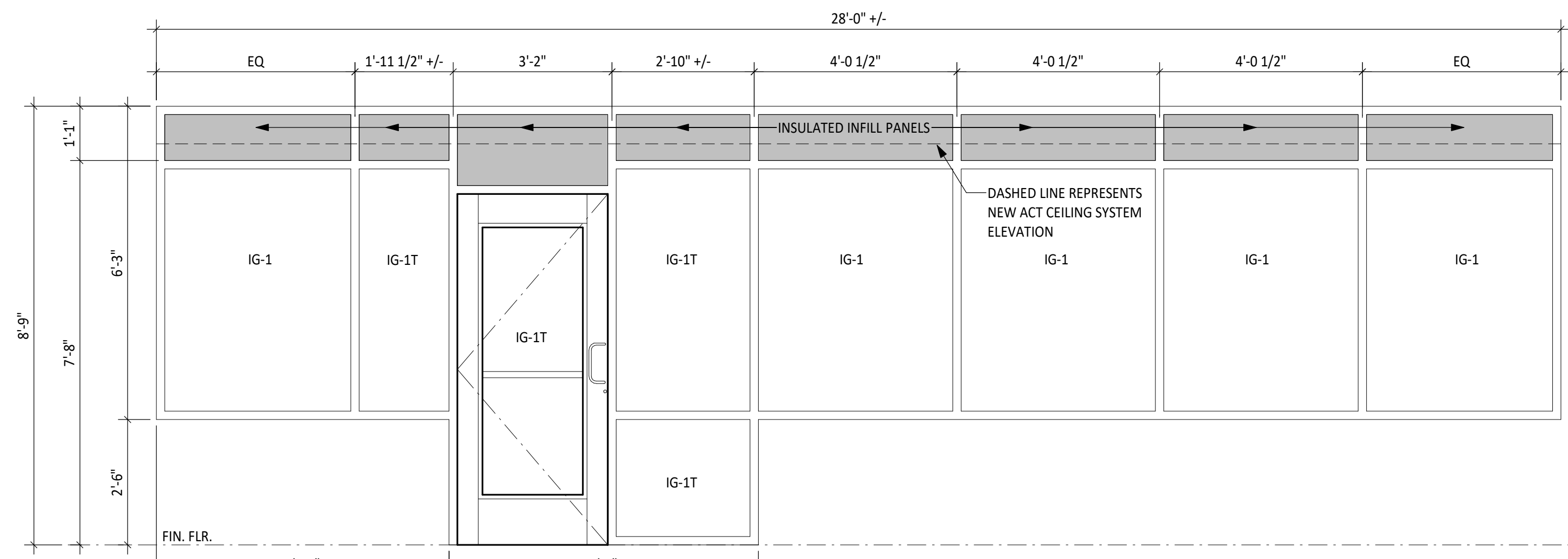
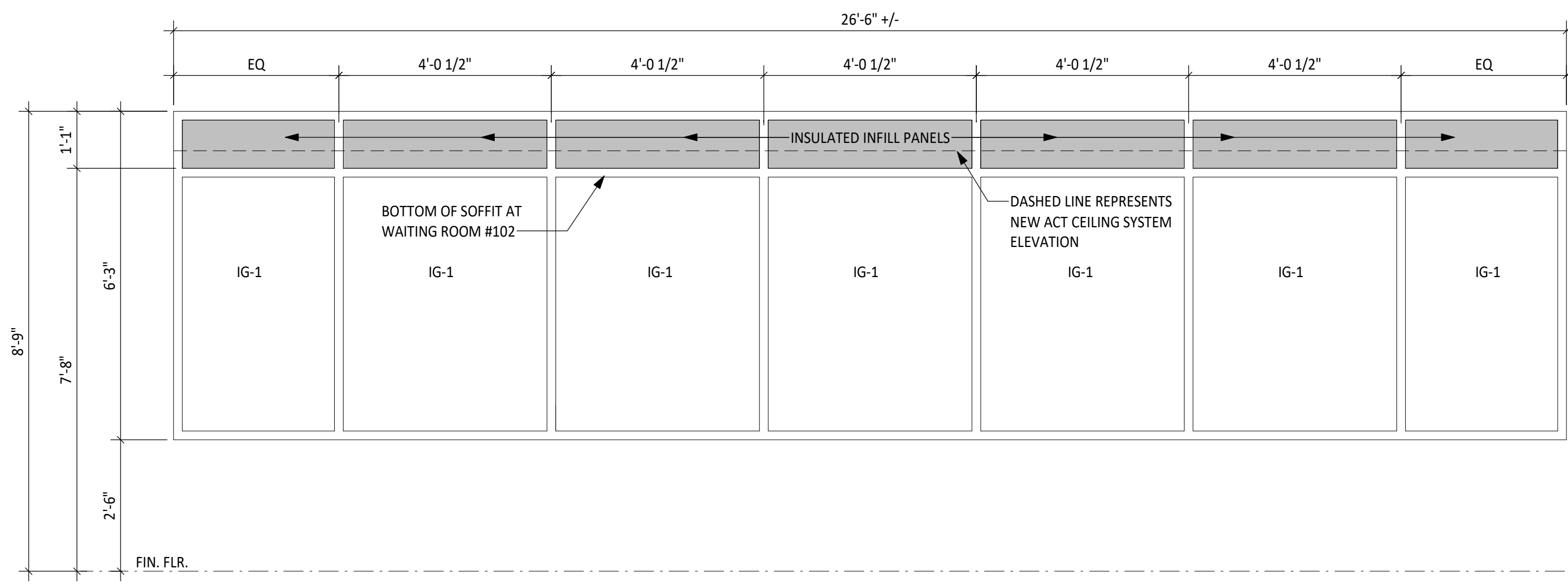
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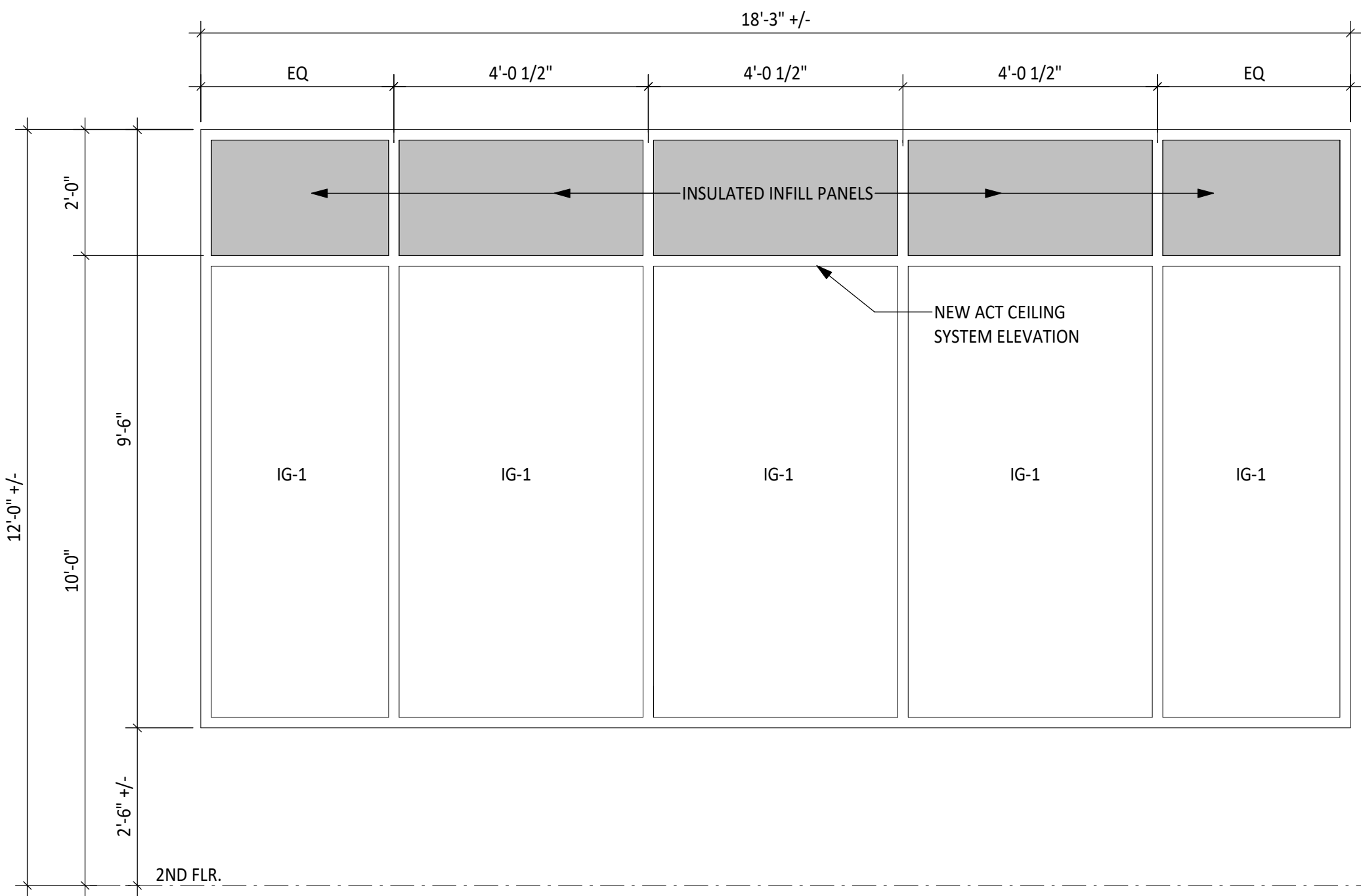
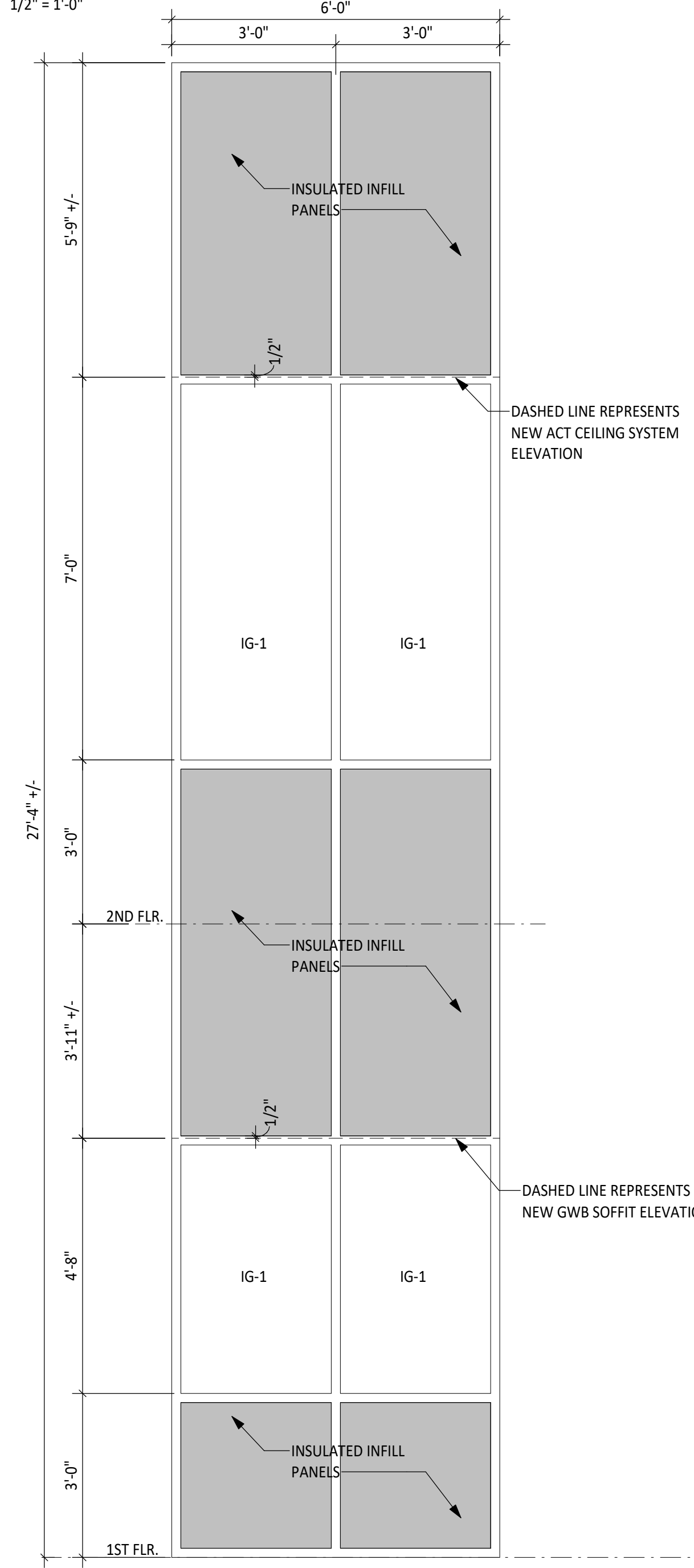


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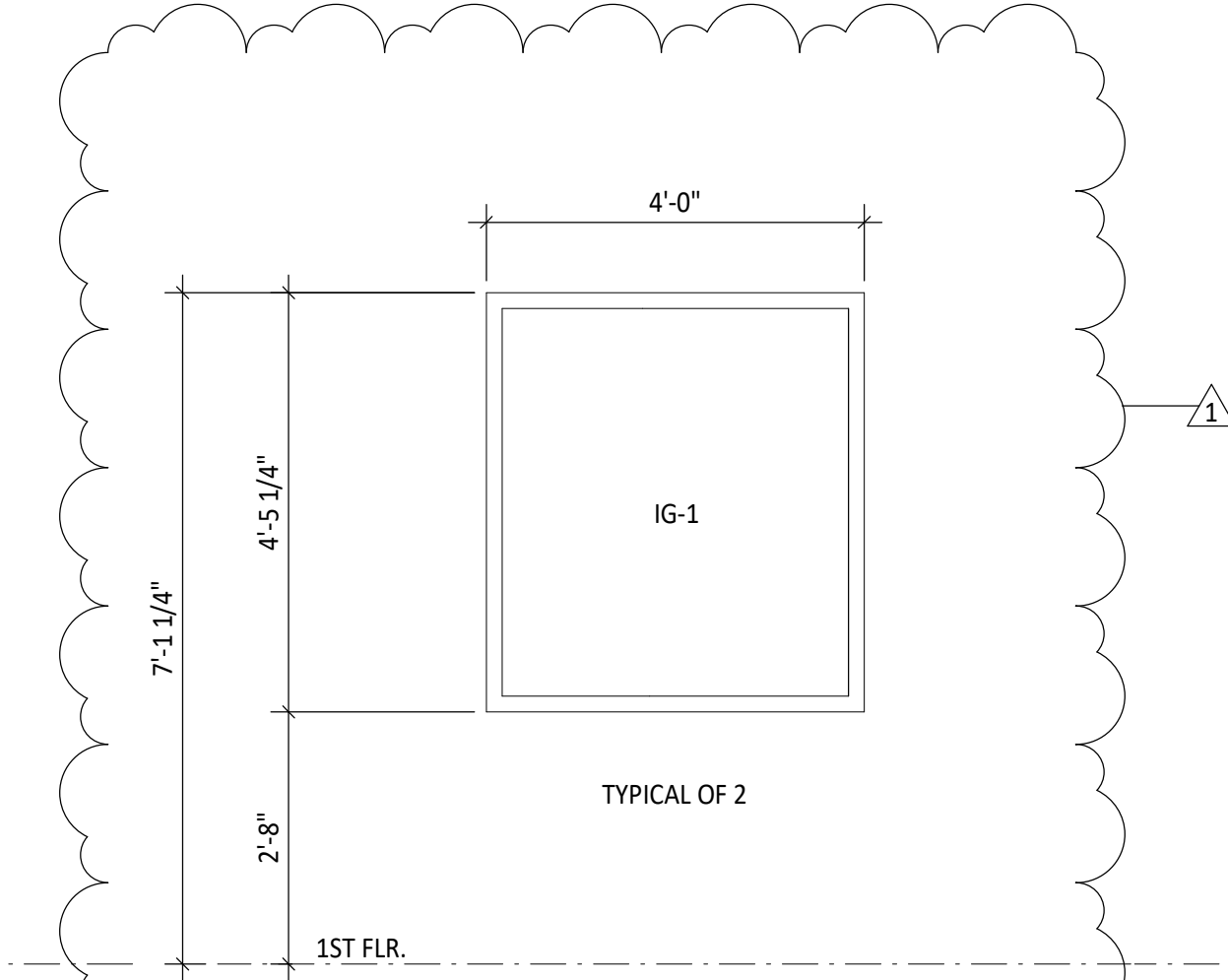


ALUMINUM STOREFRONT ELEVATION (SF-1)
1/2" = 1'-0"

ALUMINUM STOREFRONT ELEVATION (SF-2)
1/2" = 1'-0"



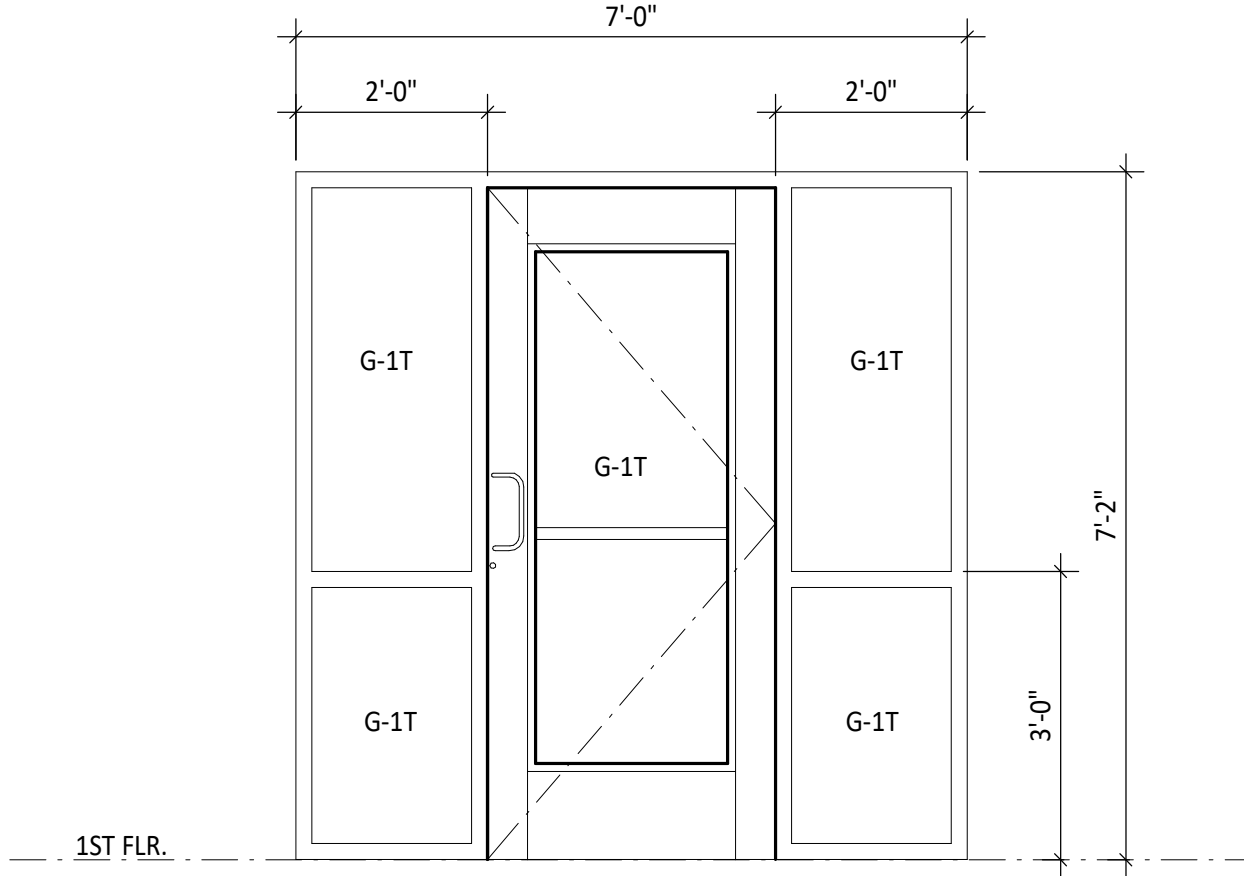
ALUMINUM STOREFRONT ELEVATION (SF-3)
1/2" = 1'-0"



ALUMINUM STOREFRONT ELEVATION (SF-4)
1/2" = 1'-0"

GENERAL FRAME TYPE NOTES:

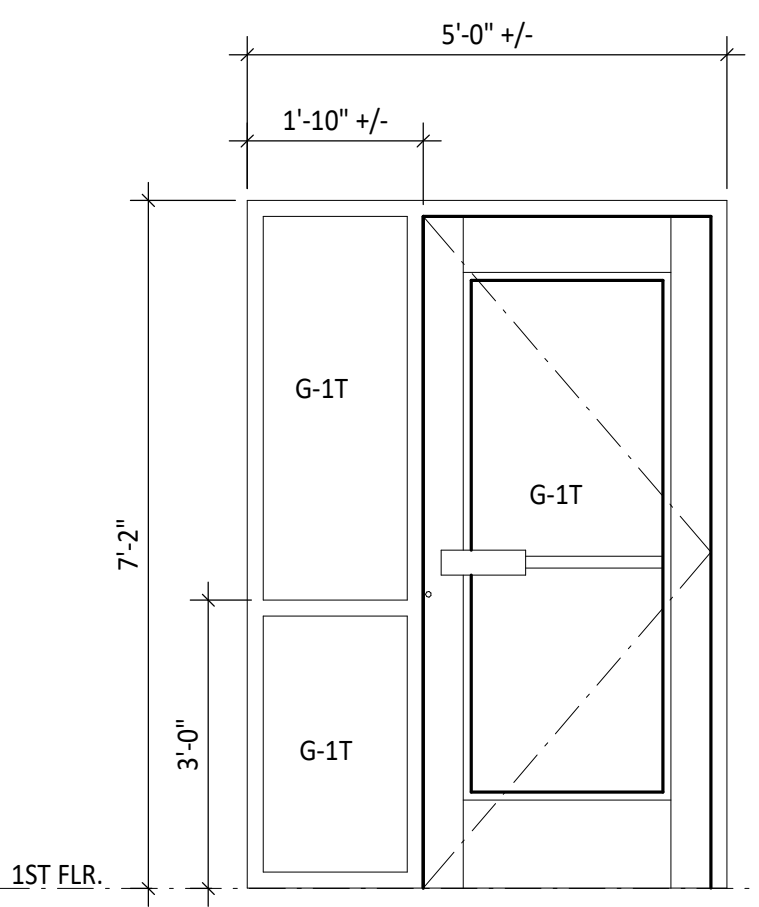
- NOTES APPLY TO DRAWINGS A201, A712, AND A713
1. PROVIDE SHIM SPACE AND SEALANT & BACKER ROD AT OPENING PERIMETER AS REQUIRED BY CURTAINWALL MANUFACTURER.
 2. FIELD VERIFY EXISTING OPENING SIZES PRIOR TO SUBMITTING SHOP DRAWINGS.



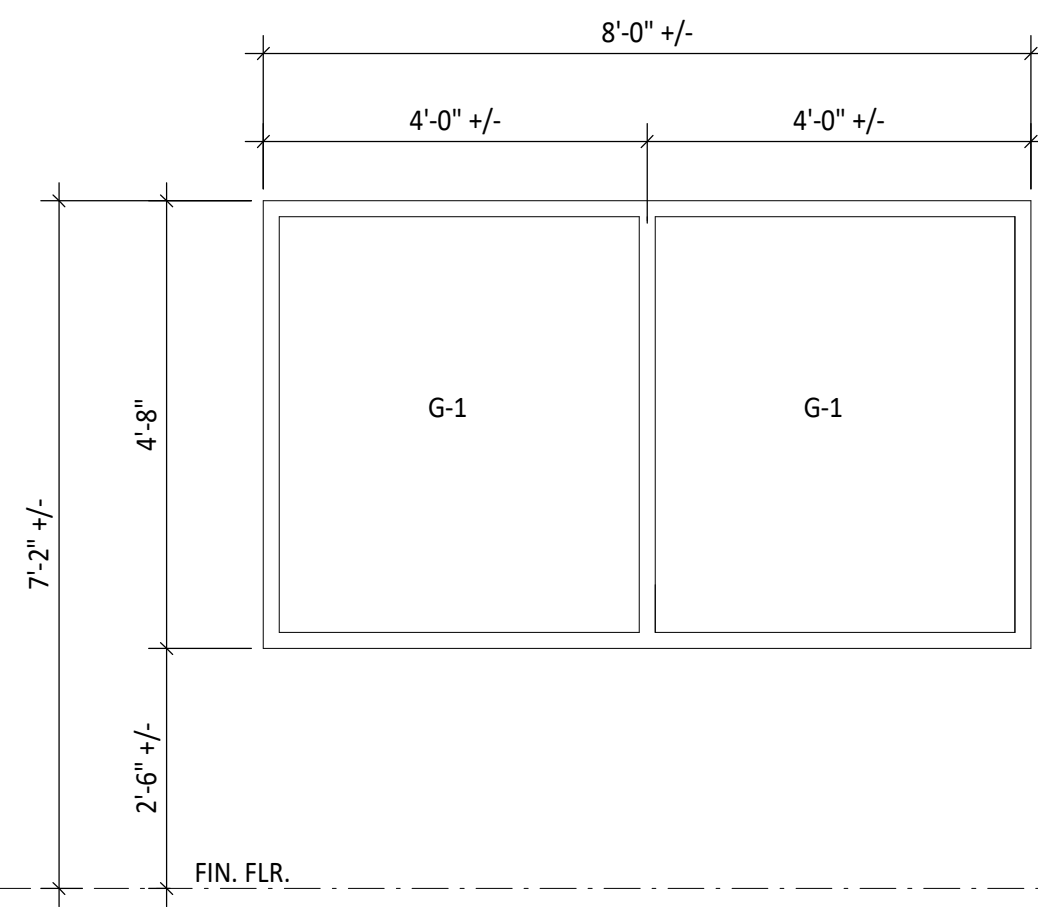
ALUMINUM STOREFRONT ELEVATION (SF-5)
1/2" = 1'-0"



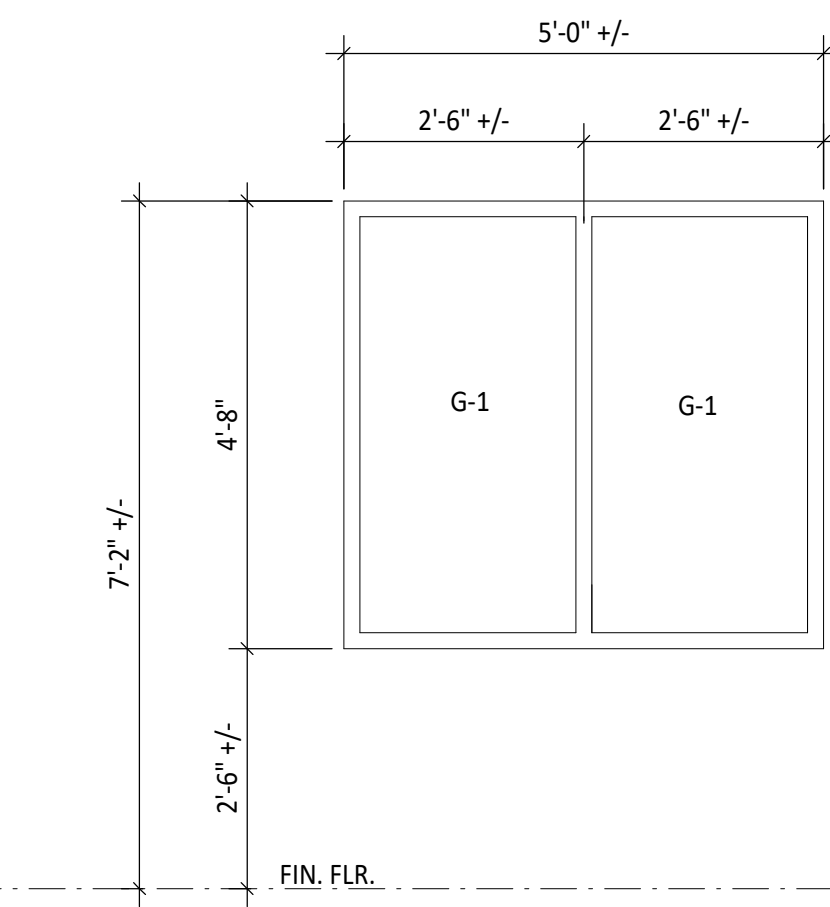
HOLLOW METAL ELEVATION (CW-4)
1/2" = 1'-0"



ALUMINUM STOREFRONT ELEVATION (SF-6)
1/2" = 1'-0"



ALUMINUM STOREFRONT ELEVATION (SF-7)
1/2" = 1'-0"



ALUMINUM STOREFRONT ELEVATION (SF-8)
1/2" = 1'-0"

GENERAL

1. THE CONTRACTOR SHALL INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING AND ADVISE ENGINEER OF ANY VARIATIONS. ALL EXCAVATIONS NEAR THESE LINES TO BE CARRIED OUT WITH EXTREME CAUTION.
2. THE CONTRACTOR SHALL CONTACT "MISS UTILITY OF VIRGINIA" 72 HOURS BEFORE ANY EXCAVATION WORK IS BEGUN. "MISS UTILITY OF VIRGINIA" MAY BE REACHED AT 1-800-552-7001.
3. THE CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES NOT SHOWN ON THE STRUCTURAL DRAWINGS.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF EXISTING CONSTRUCTION WHICH AFFECT NEW CONSTRUCTION AND REPORT VARIATIONS TO THE ENGINEER PRIOR TO SUBMISSION OF SHOP DRAWINGS.
5. THE CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL OPENINGS AND EQUIPMENT PADS WITH THE MECHANICAL AND ELECTRICAL EQUIPMENT DETAILS AND SHOP DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES FOR THE PROPER DISTRIBUTION OF ALL UTILITY LINES THROUGHOUT THE BUILDING.
6. SEE ARCHITECTURAL DRAWINGS FOR THE LOCATION OF WINDOW AND DOOR OPENINGS AND FOR OTHER INFORMATION NOT SHOWN.
7. THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING FOR THE STRUCTURE SO THAT IT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THE STRUCTURE AND FOUNDATIONS ARE DESIGNED FOR A COMPLETED CONDITION ONLY AND, THEREFORE, REQUIRE ADDITIONAL SUPPORT TO MAINTAIN STABILITY BEFORE COMPLETION.

RENOVATION AND EXISTING STRUCTURES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, ETC., NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE NEW PORTIONS OF THE STRUCTURE TO THE EXISTING STRUCTURE. THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS NECESSARY FOR PROPER FABRICATION AND ERECTION OF ALL STRUCTURAL MEMBERS.
2. BEFORE PROCEEDING WITH ANY WORK WITHIN OR ADJACENT TO THE EXISTING STRUCTURE, THE CONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING CONDITIONS. DURING THE PROCESS OF CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE WHERE THE EXISTING STRUCTURE IS MODIFIED TO ACCOMMODATE NEW CONSTRUCTION AND TO PROTECT FROM DAMAGE THOSE PORTIONS OF THE EXISTING STRUCTURE, WHICH ARE TO REMAIN.
3. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY EXISTING CONDITIONS THAT DIFFER FROM THOSE INDICATED ON THE DRAWINGS.
4. ANY DAMAGE TO THE EXISTING STRUCTURE FROM NEW CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.

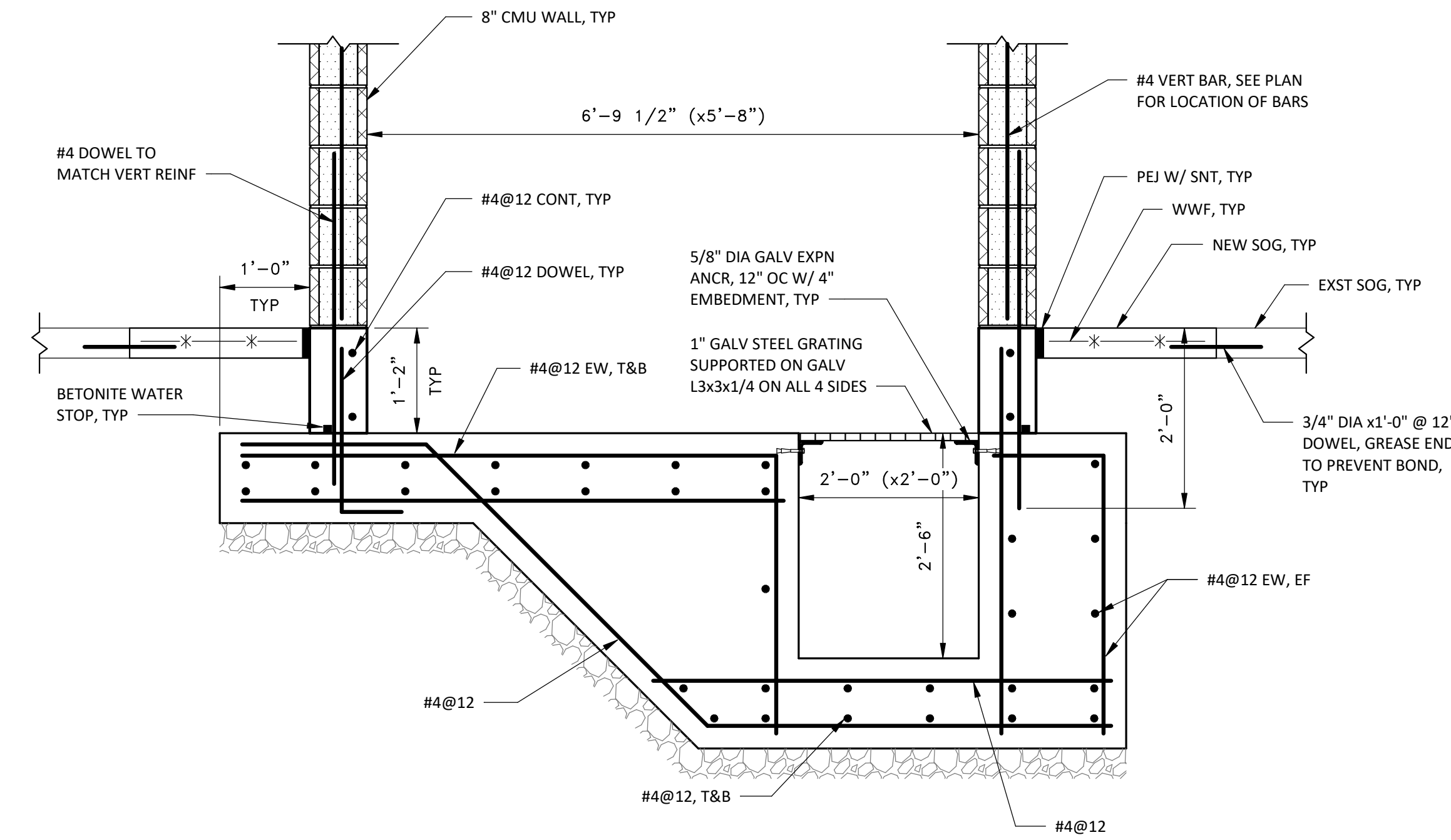
MASONRY

NOTE: THESE NOTES APPLY TO WALLS SHOWN ON THE STRUCTURAL DRAWINGS ONLY.

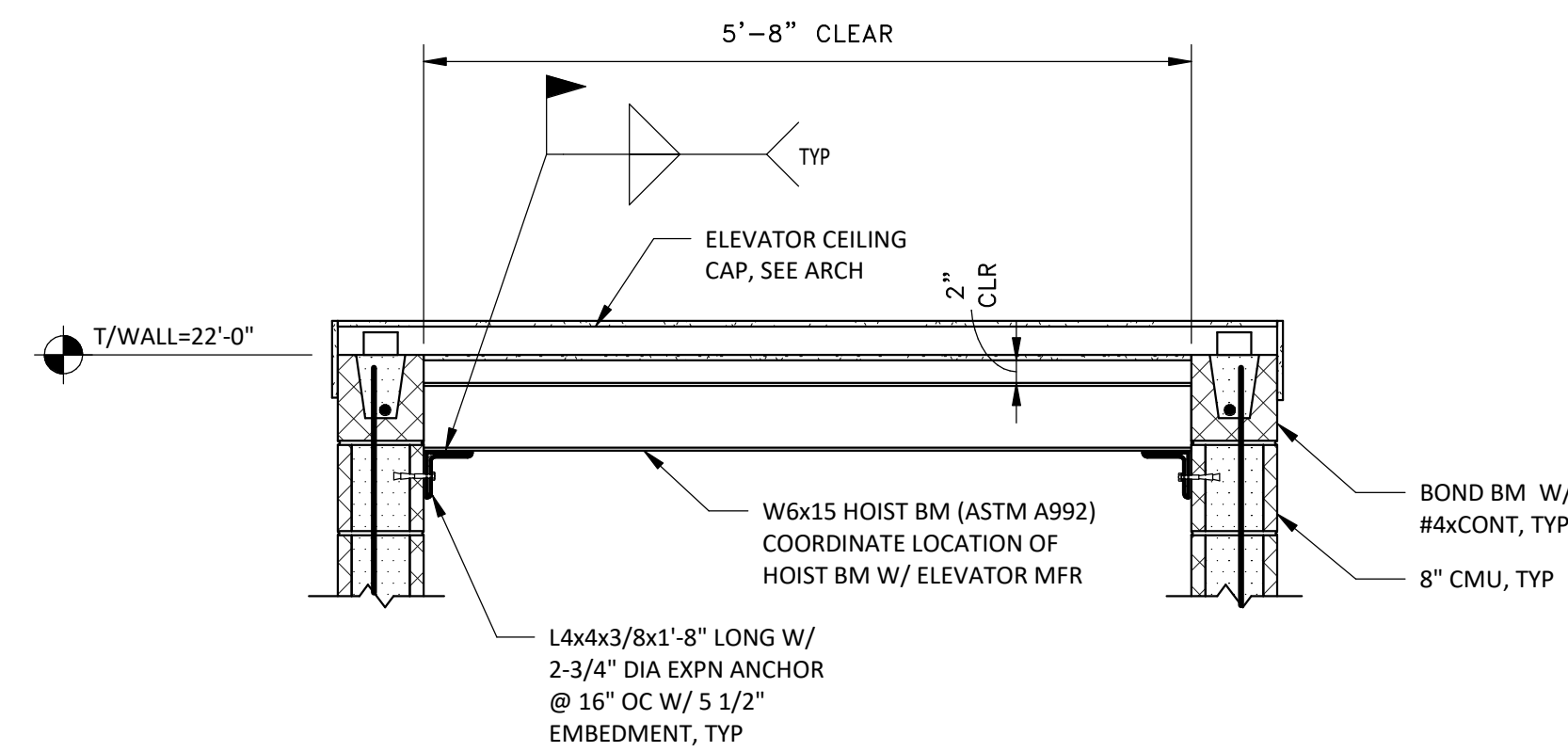
1. UNLESS NOTED OTHERWISE, THE TOP COURSE OF ALL CONCRETE MASONRY WALLS SHALL BE A BOND BEAM REINFORCED WITH 1- #4 REINFORCING BAR.
2. BOND BEAMS SHALL BE CONTINUOUS THROUGH ALL CORNERS AND SHALL TIE ALL WALL TERMINATIONS TO THE PERPENDICULAR WALL AT WALL INTERSECTIONS.
3. UNLESS NOTED OTHERWISE, ALL CONCRETE MASONRY WALLS SHALL HAVE VERTICAL REINFORCEMENT CONSISTING OF 1- #4 REINFORCING BAR, IN A FULLY GROUTED CELL AT A MAXIMUM OF 24 INCHES C/C. PROVIDE 3-#4 BARS IN THE THREE CELLS AT ALL WALL CORNERS AND INTERSECTING WALLS. PROVIDE 1-#4 BAR AT EACH SIDE OF OPENINGS 4'-0" OR LESS AND 2-#4 BARS AT EACH SIDE OF OPENINGS GREATER THAN 4'-0" AND LESS THAN 8'-0". REINFORCEMENT SHALL EXTEND FROM SUPPORT TO SUPPORT.
4. UNLESS NOTED OTHERWISE, ALL CONCRETE MASONRY WALLS SHALL HAVE HORIZONTAL REINFORCEMENT CONSISTING OF 1- #4 REINFORCING BAR, IN A FULLY GROUTED BOND BEAM, AT THE TOP AND BOTTOM OF ALL WALL OPENINGS. REINFORCEMENT SHALL EXTEND A MINIMUM OF 24" PAST THE EDGE OF THE OPENING.
5. ALL CONCRETE MASONRY WALLS SHALL HAVE JOINT REINFORCEMENT, AS DEFINED IN THE SPECIFICATIONS, PLACED HORIZONTALLY ON 16" CENTERS. REINFORCEMENT SHALL EXTEND INTO INTERSECTING WALLS.
6. GROUT FILL ALL CELLS OF CONCRETE MASONRY WALLS BELOW GRADE. GROUT FILL ALL CAVITIES BELOW GRADE IN MULTI-WYTHE WALLS.

CONCRETE

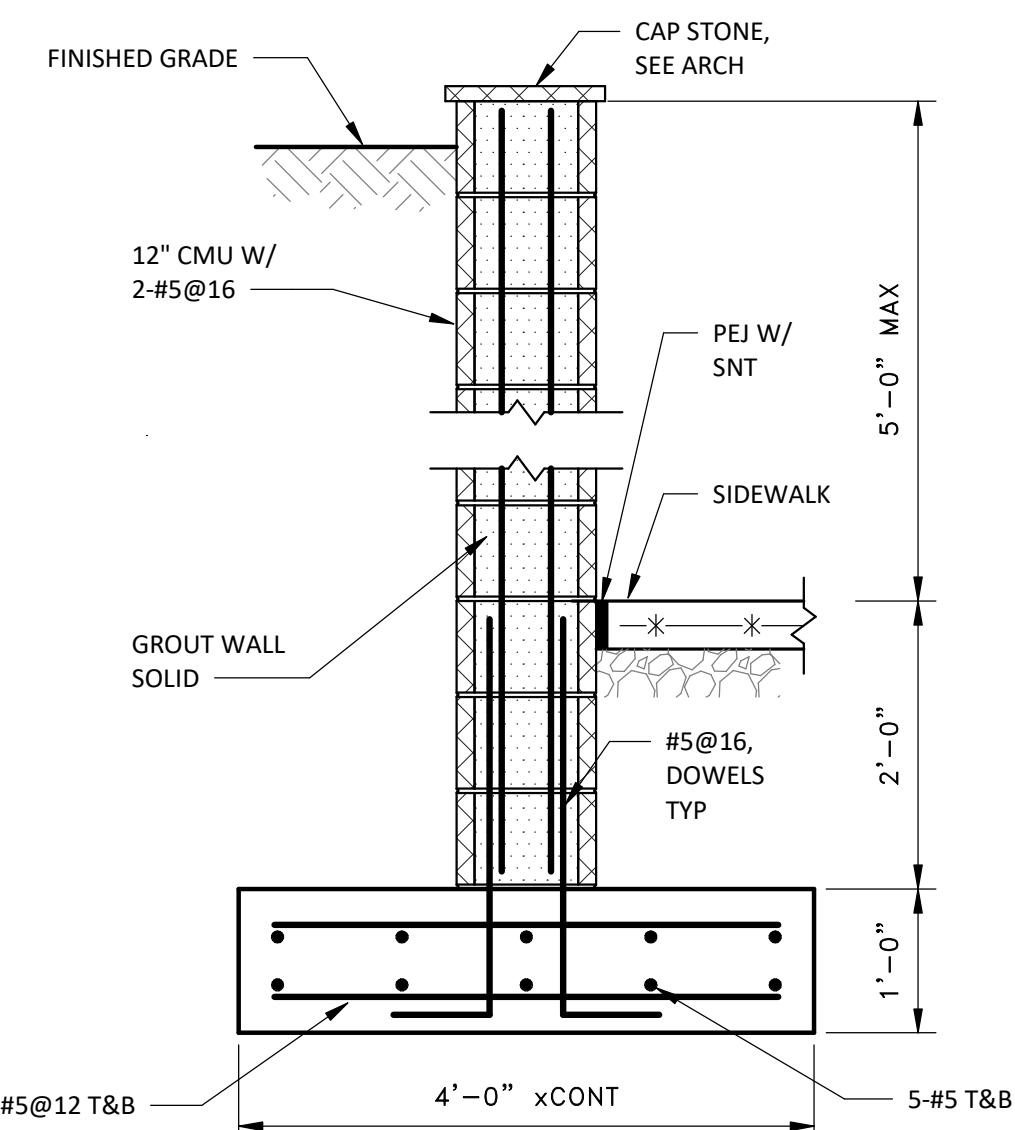
1. ALL FOOTINGS AND FOUNDATIONS ARE DESIGNED FOR AN ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF. FOOTINGS ARE TO BEAR ON UNDISTURBED SOIL OR COMPACTED, ENGINEERED FILL. ALL FOOTING EXCAVATIONS SHALL BE APPROVED BY A QUALIFIED SOILS TECHNICIAN OR ENGINEER. REPORT ANY DISCREPANCIES WITH THE ASSUMED SOIL BEARING PRESSURE TO THE ENGINEER PRIOR TO PLACING CONCRETE.
2. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS, ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI FOR RETAINING WALL FOUNDATION, 4000 PSI FOR ELEVATOR PIT CONCRETE AND 5000 PSI CONCRETE FOR SIDEWALKS IN 28 DAYS.
3. UNLESS OTHERWISE NOTED, ALL REINFORCING STEEL SHALL BE GRADE 60, DEFORMED BARS, CONFORMING TO ASTM A615. DEFORMED REINFORCING STEEL SHALL NOT BE WELDED UNLESS APPROVED BY THE ENGINEER.
4. UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI SP 66-LATEST EDITION).
5. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS, ALL CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
 - a. 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.
 - b. 1 1/2" FOR #5 BARS AND SMALLER FOR CONCRETE EXPOSED TO EARTH OR WEATHER.
6. ALL BAR SPLICES SHALL BE CLASS "B" TENSION SPLICES UNLESS OTHERWISE NOTED.
7. PROVIDE 2- #4 DIAGONAL BARS IN THE TOP FACE OF SLAB-ON-GRADE AT ALL RE-ENTRANT CORNERS. EXTEND REINFORCING BARS PAST RE-ENTRANT CORNERS A MINIMUM OF TENSION DEVELOPMENT LENGTH (L_d).
8. INTERSECTING WALLS SHALL BE KEYED IF PLACED SEPARATELY. RUN HORIZONTAL WALL REINFORCING CONTINUOUSLY INTO INTERSECTING WALL.
9. CHAMFER ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH 3/4" X 45 DEGREE CHAMFER UNLESS NOTED OTHERWISE.
10. UNLESS OTHERWISE NOTED, REINFORCE ALL CONCRETE SLABS-ON-GRADE WITH 6x6 - W2.9xW2.9 WELDED WIRE FABRIC. WELDED WIRE FABRIC SHALL BE FLAT SHEETS.
11. WELDED WIRE FABRIC REINFORCING SHALL LAP ONE FULL MESH AND BE SECURELY WIRED AT EACH SIDE AND END.
12. PROPORTION NORMAL-WEIGHT CONCRETE ACCORDING TO ACI 301.
13. NO ADMIXTURES WILL BE PERMITTED EXCEPT FOR POZZOLANIC ADMIXTURES, AIR-ENTRAINED ADMIXTURES AND/OR WATER-REDUCING ADMIXTURES.
14. FLYASH POZZOLANIC ADMIXTURE SHALL MEET THE REQUIREMENTS OF ASTM C618 AND SHALL BE LIMITED TO A MAXIMUM OF 25 PERCENT BY WEIGHT OF CEMENTITIOUS MATERIALS.
15. MAXIMUM WATER TO CEMENT RATIO (BY WEIGHT) SHALL BE 0.50 FOR 3000 PSI CONCRETE, 0.45 FOR 4000 PSI CONCRETE, AND 0.40 FOR 5000 PSI CONCRETE.
16. SLUMP SHALL BE LIMITED TO 4 INCHES.
17. CONCRETE SIDEWALKS SHALL BE AIR ENTRAINED. ADD AIR-ENTRAINING ADMIXTURE AT MANUFACTURER'S PRESCRIBED RATE TO RESULT IN CONCRETE AT POINT OF PLACEMENT HAVING AN AIR CONTENT OF 4.5 TO 7.5 PERCENT.
18. USE WATER-REDUCING ADMIXTURE IN CONCRETE, AS REQUIRED, FOR PLACEMENT AND WORKABILITY ACCORDING TO THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
19. CURE CONCRETE BY USING A CURING COMPOUND, MOIST CURING, OR BY THE USE OF A MOISTURE RETAINING COVER.
20. APPLY CURING, SEALING, AND BONDING AGENTS PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
21. EXPANSION JOINT MATERIAL (PEJ) SHALL BE THE THICKNESS INDICATED AND SHALL MEET THE REQUIREMENTS OF ASTM D1751.
22. MEASURE, BATCH, MIX, AND DELIVER CONCRETE ACCORDING TO ASTM C94.
23. COMPLY WITH ACI 306.1 FOR COLD-WEATHER PLACEMENT.
24. COMPLY WITH ACI 305R FOR HOT-WEATHER PLACEMENT.
25. APPLY A BROOM FINISH TO CONCRETE SIDEWALK IMMEDIATELY AFTER FLOAT FINISHING BY SLIGHTLY ROUGHENING THE WALKWAY SURFACE BY BROOMING WITH A FIBER-BRISTLE BROOM PERPENDICULAR TO THE MAIN TRAFFIC ROUTE.



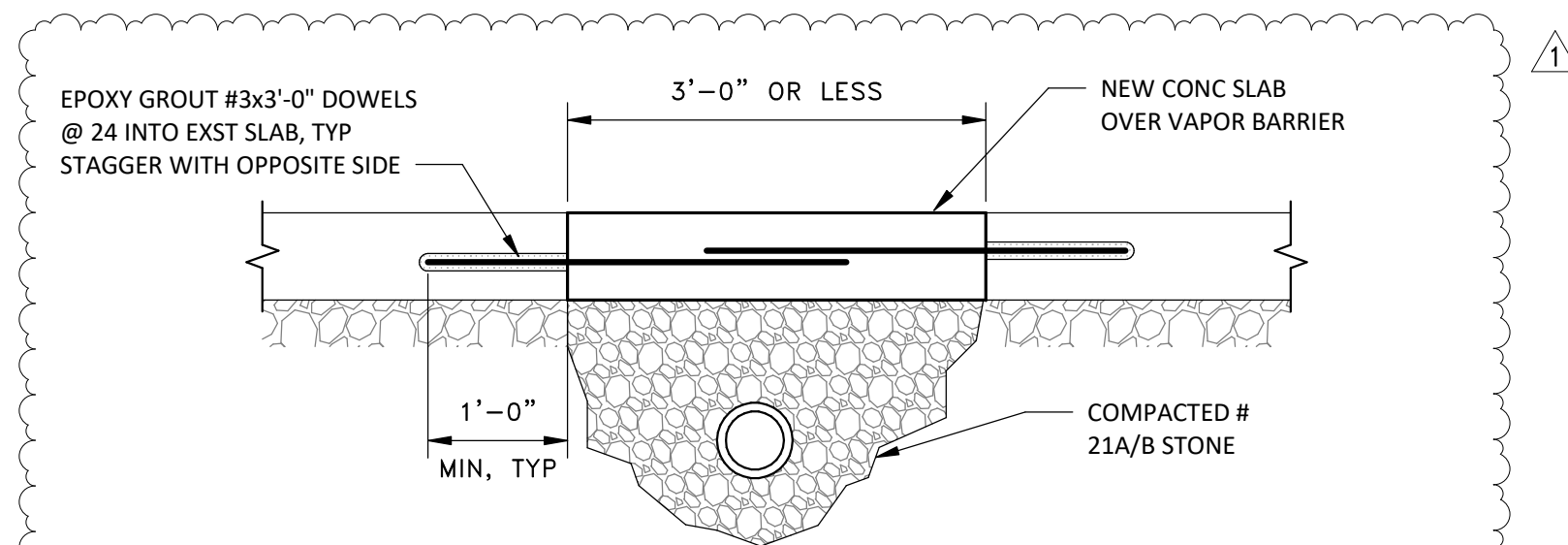
SECTION 1
SCALE: 3/4" = 1'-0"



SECTION 2
SCALE: 3/4" = 1'-0"



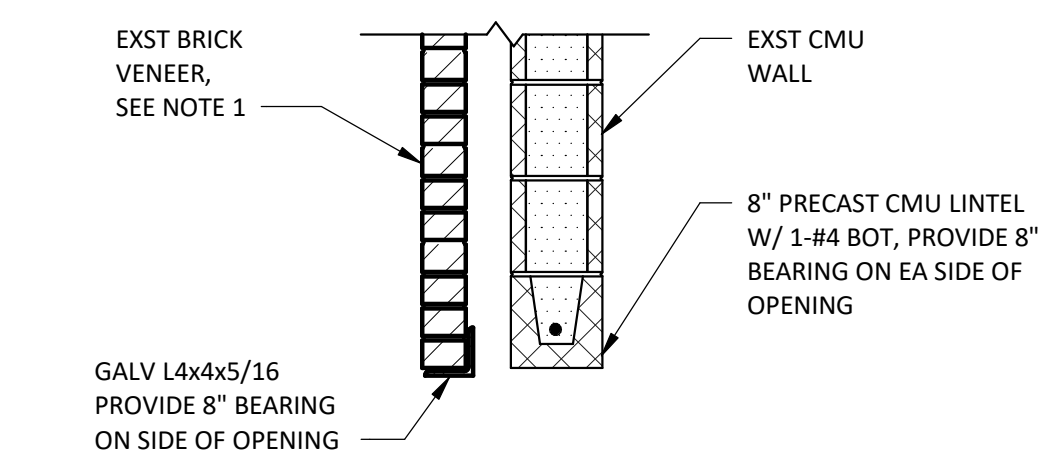
SECTION 3
SCALE: 3/4" = 1'-0"



- NOTES:
1. SALVAGE 8" OF EXST VAPOR BARRIER ON EACH SIDE OF TRENCH TO LAP WITH NEW VAPOR BARRIER.
 2. FOR OPENINGS GREATER THAN 3'-0", PROVIDE ADDITIONAL #3@18 EW REINF IN NEW SLAB

TYPICAL DETAIL-SLAB REPLACEMENT @ UTILITY TRENCH

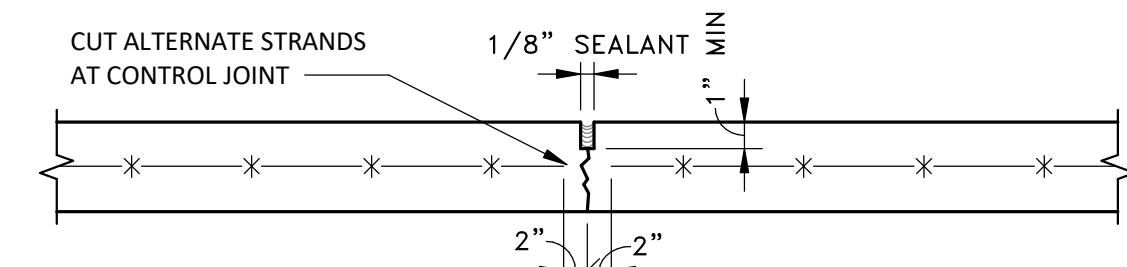
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- NOTES:
1. SHORE EXST CMU WALL AND INSTALL GALV LOOSE LINTEL IN BRICK WALL BEFORE REMOVING BRICK BELOW.
 2. REMOVE 8" OF CMU BELOW LINTEL JAMBS. INSTALL 8x8x8 OPEN END CORNER BLOCK WITH #4 AT EACH JAMB. EXTEND #4 BAR TO TOP OF FOOTING TO UNDERSIDE OF PRECAST LINTEL. GROUT JAMBS SOLID.

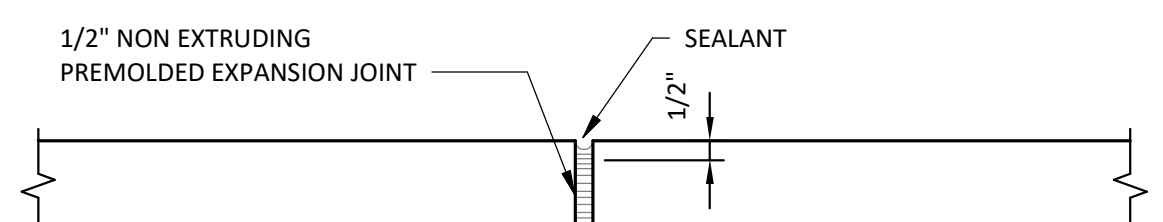
TYPICAL DETAIL-NEW WINDOW OPENING EXISTING EXTERIOR WALL

NOT TO SCALE



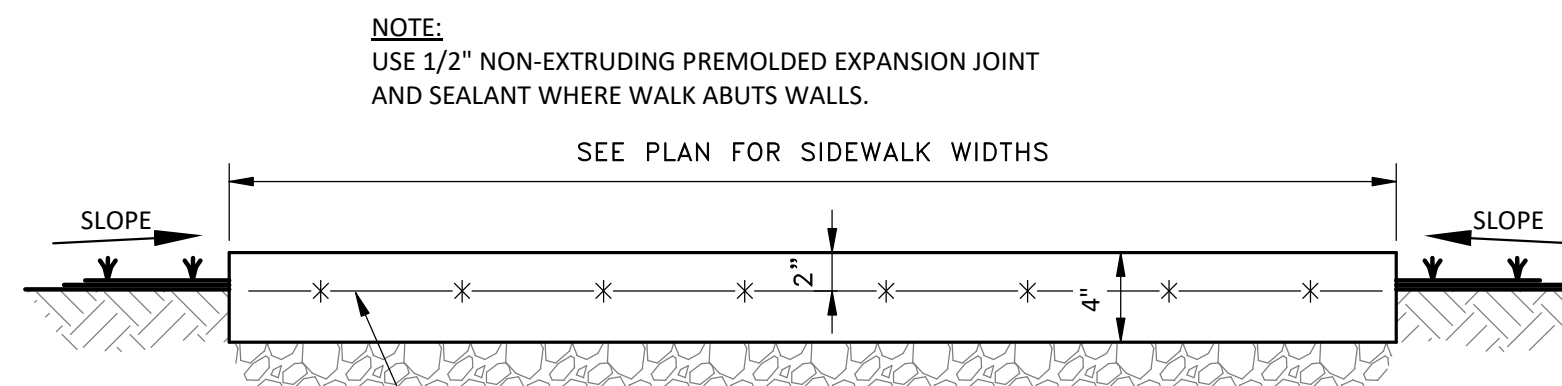
CONTRACTION JOINT

SPACED @ 6'-0" C/C



EXPANSION JOINT

SPACED @ 30'-0" C/C

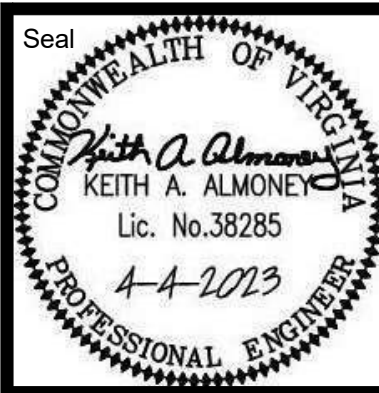


TYPICAL SECTION

- NOTES:
1. THE FIRST 5 FEET OF ALL SIDEWALKS AT DOORWAYS SHALL BE LEVEL AND SHALL BE AT FINISH FLOOR ELEVATION.
 2. MAXIMUM SPACING BETWEEN CONTRACTION JOINTS SHALL BE 6'. MAXIMUM SPACING BETWEEN EXPANSION JOINTS SHALL BE 30'.

TYPICAL DETAIL-SIDEWALK

NOT TO SCALE



SOUTH WEST VA COMMUNITY HEALTH SYSTEMS
BRISTOL COMMUNITY HEALTH CENTER
 BRISTOL, VA
GENERAL NOTES AND DETAILS

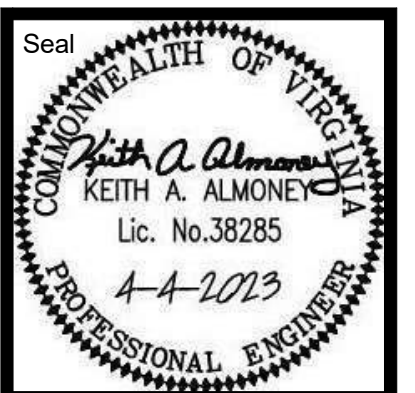
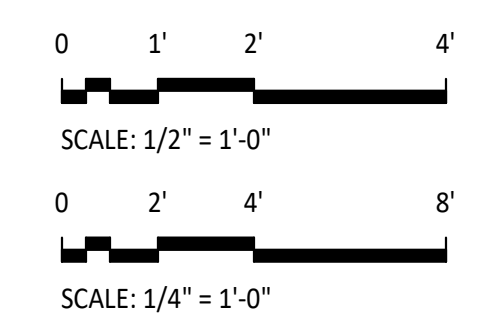
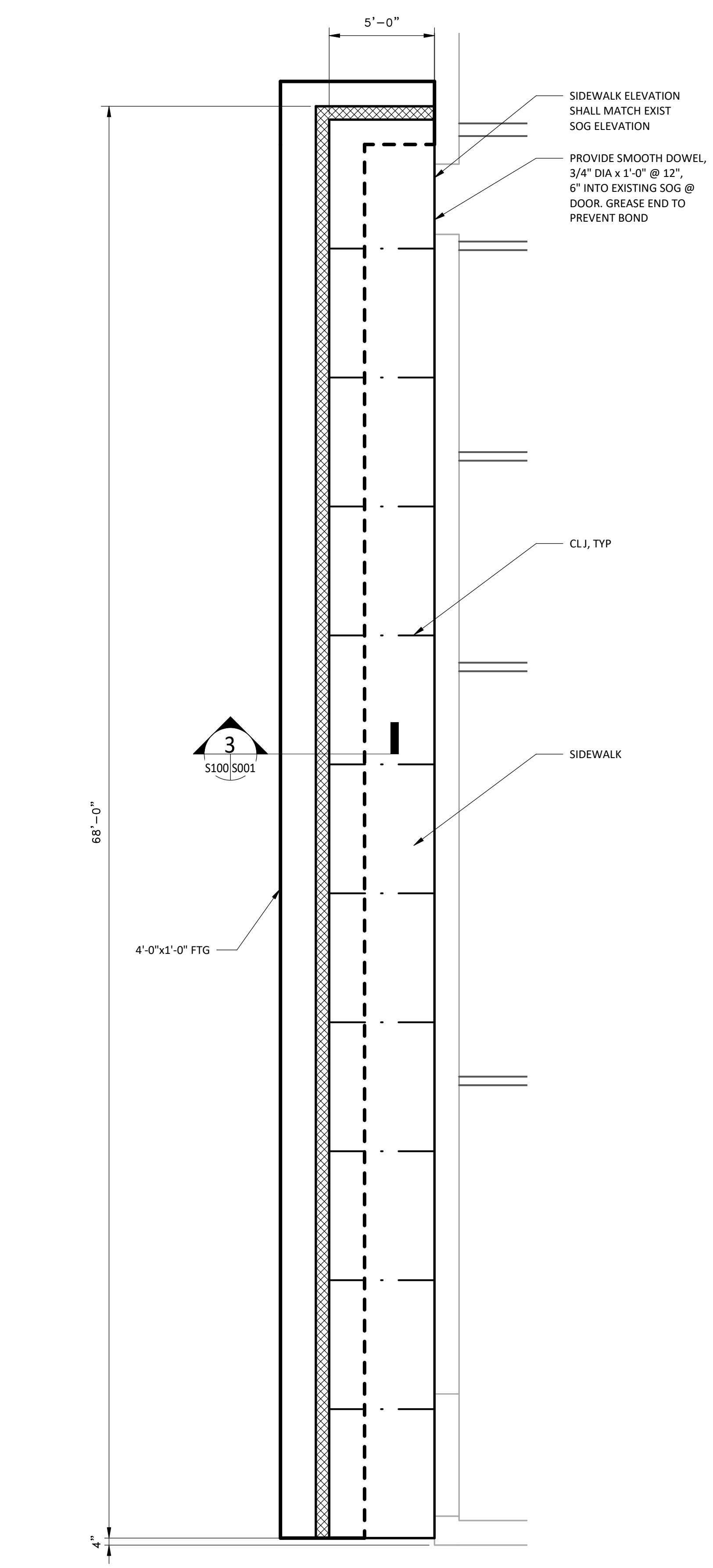
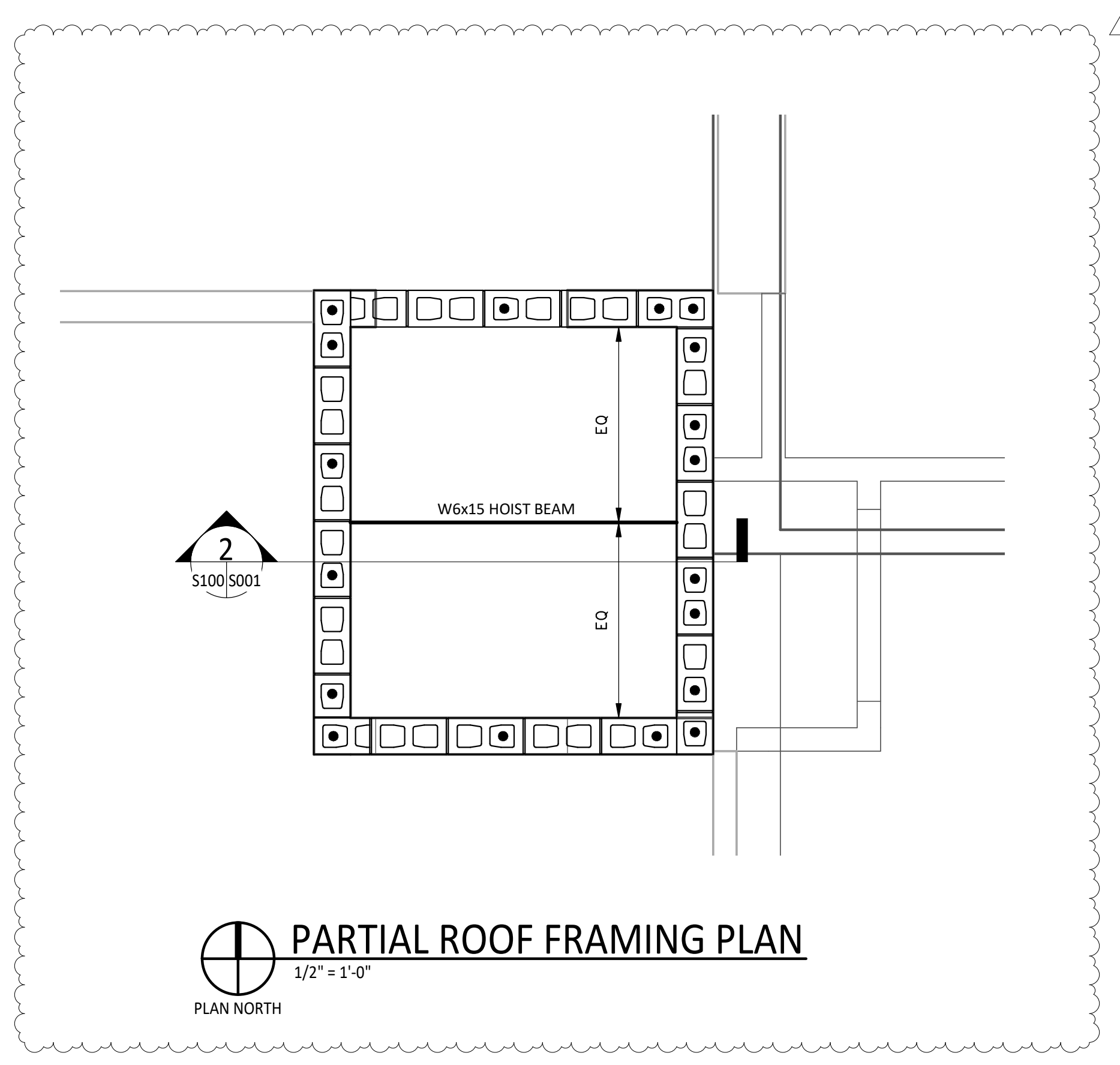
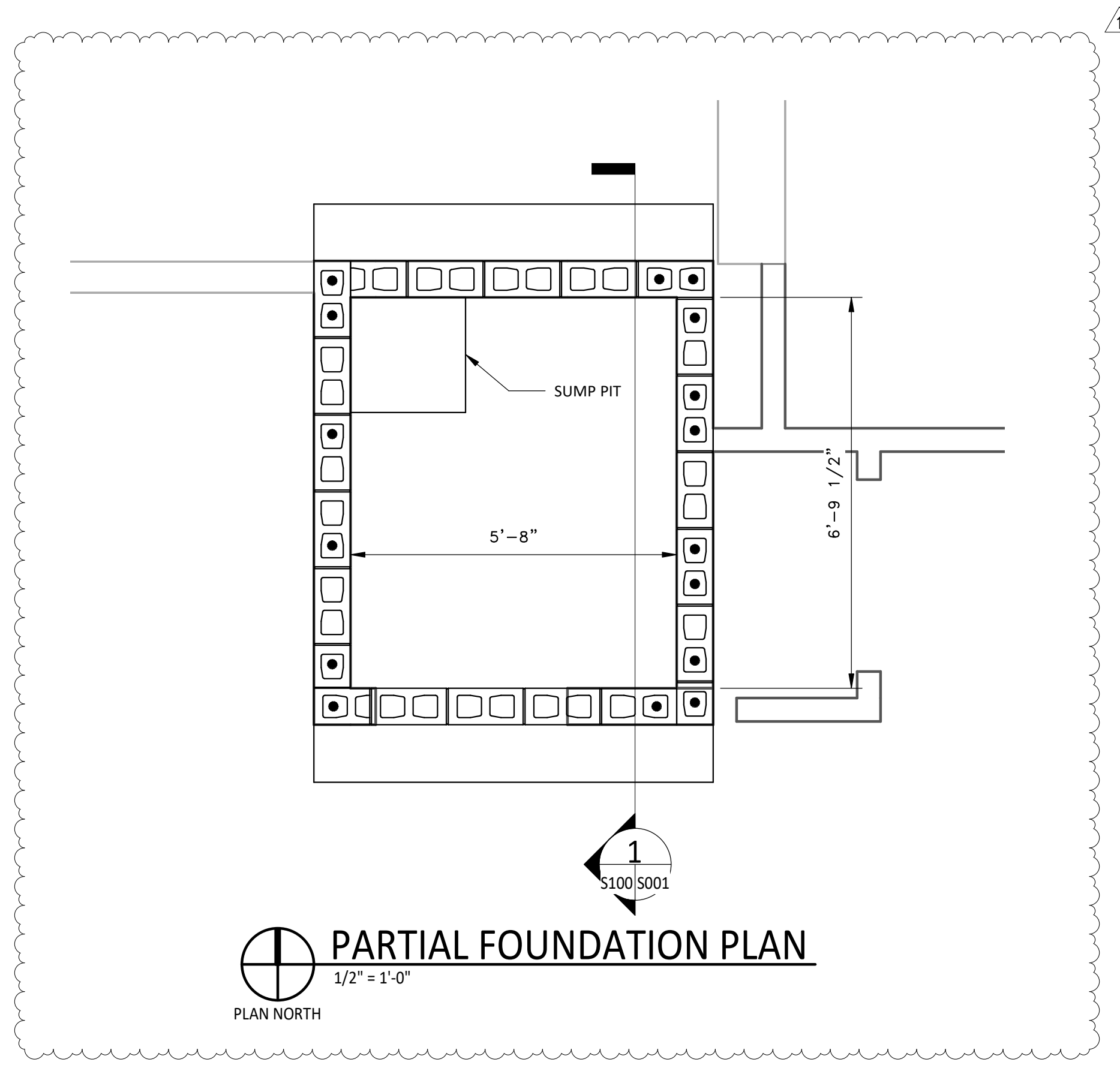
No.	1
Date	04-04-2023
Purpose of Document Issue	REVISED DRAWINGS-APPENDUM NO. 2

Designed	KA
Drawn	MLT
Checked	RHT
Date	07-15-2022

Project No. **16493**



Sheet No. **S001**



SOUTHWEST VA COMMUNITY HEALTH SYSTEMS
BRISTOL COMMUNITY HEALTH CENTER
BRISTOL, VA

FOUNDATION AND FRAMING PLANS

No.	Date	Purpose of Document Issue
1	04-04-2023	REVISED DRAWINGS-APPENDIUM NO. 2

Designed	KAA
Drawn	MLT
Checked	RHT
Date	07-15-2022

Project No.
16493



Sheet No.
S100